

PARKING GARAGE 12 EXPANSION

12 MEDICAL PLAZA ROSEVILLE, CA 95661



ABBREVIATIONS

#	POUND/NUMBER	CPT.	CARPET	FLUOR.	FLUORESCENT	MTL.	METAL	SMS.	SHEET METAL SCREW
(E)	EXISTING	CTSK.	COUNTERSINK	FRRF.	FIREFLOOR	MUL.	MULLION	SPEC.	SPECIFICATION
(N)	NEW	D.F.	DRINKING FOUNTAIN	FTG.	FOOTING	N.	NORTH	STA.	STATION
∠	ANGLE	D.O.	DOOR OPENING	FURF.	FURRING	N.I.C.	NOT IN CONTRACT	STD.	STANDARD
⊗	AT	D.S.P.	DRY STANDPIPE	FUT.	FUTURE	N.T.S.	NOT TO SCALE	STL.	STEEL
C/L	CENTERLINE	DBL.	DOUBLE	G.B.	GRAB BAR/GRADE BREAK	NO.	NUMBER	STOR.	STORAGE
P/L	PLATE/PROPERTY LINE	DEPT.	DEPARTMENT	G.F.R.G.	GLASS FIBER REINFORCED	NOM.	NOMINAL	STRUC.	STRUCTURAL
∅/DIA.	DIAMETER/ROUND	DET.	DETAIL	G.Y.P.	GYPSON	O.A.	OVERALL	SUSP.	SUSPENDED
A.B.	AGGREGATE BASE	DIA.	DIAMETER	G.I.	GYPSON	O.C.	ON CENTER	SYM.	SYMMETRICAL
A.C.	ASPHALT CONCRETE	DIM.	DIMENSION	GA.	GAUGE	O.D.	OUTSIDE DIAMETER/DIMENSION	T.	TREAD
A.D.	AREA DRAIN	DISP.	DISPENSER	GA.	GAUGE	O.H.	OVERHEAD	T.&S.	TONGUE AND GROOVE
A.F.F.	ABOVE FINISHED FLOOR	DN.	DOWN	GALV.	GALVANIZED	O.V.	OVER	T.C.	TOP OF CURB
ACOUS.	ACOUSTICAL	DR.	DOOR	GL.	GLASS	OFF.	OFFICE	T.O.	TOP OF
ADJ.	ADJUSTABLE	DS.	DOWNSPOUT	GND.	GROUND	OPNG.	OPENING	T.O.F.	TOP OF FRAMING
AHU.	AIR HANDLING UNIT	DWG.	DRAWING	GR.	GRADE	OPP.	OPPOSITE	T.O.S.	TOP OF STEEL
ALUM.	ALUMINUM	DWR.	DRAWER	GYP.	GYPSON	P.C.	PRECAST	T.S.	TUBE STEEL
APPROX.	APPROXIMATE	E.	EACH	H.B.	HOSE BIBB	P.V.	POST INDICATOR VALVE	T.V.	TELEVISION
ARCH.	ARCHITECTURAL	E.J.	EXPANSION JOINT	H.C.	HOLLOW CORE/ACCESSIBLE	P.M.	PRESSED METAL	T.W.	TOP OF WALL
ASB.	ASBESTOS	E.P.	ELECTRICAL PANELBOARD	H.G.	HARDWARE GROUP	P.O.C.	POINT OF CONNECTION	TEL.	TELEPHONE
AUTO.	AUTOMATIC	E.W.C.	ELECTRIC WATER COOLER	H.M.	HOLLOW METAL	P.T.	PRESSURE TREATED	TER.	TERAZZO
B.D.F.	BUILDING DISTRIBUTION FACILITY	E.L.	ELEVATION	HWWD.	HARDWOOD	PL.	PLATE	THK.	THICK
B.F.P.	BACK FLOW PREVENTER	ELEC.	ELECTRICAL	HWWE.	HARDWARE	PLAS.	PLASTER/PLASTIC	TYP.	TYPICAL
BD.	BOARD	EMER.	EMERGENCY	HORIZ.	HORIZONTAL	PLW.	PLYWOOD	U.O.N.	UNLESS OTHERWISE NOTED
BIT.	BITUMINOUS	ENCL.	ENCLOSURE	HSS.	HOLLOW STEEL SECTION	PT.	POINT	UR.	URINAL
BLDG.	BUILDING	EQU.	EQUIPMENT	HT.	HEIGHT	PTN.	PARTITION	VCT.	VINYL COMPOSITION TILE
BLK.	BLOCK	EQIP.	EQUIPMENT	I.D.	INSIDE DIAMETER/DIMENSION	Q.T.	QUARRY TILE	VERT.	VERTICAL
BLKG.	BLOCKING	EXT.	EXTENSION	I.D.F.	INTERMEDIATE DISTRIBUTION FACILITY	R.	RISER/RADIUS	VEST.	VESTIBULE
BM.	BEAM	F.A.	FIRE ALARM	INSUL.	INSULATION	R.D.	ROUGH OPENING	VF.	VENDOR FURNISHED
BTM.	BOTTOM	F.A.A.N.	FIRE ALARM REMOTE ANNUNCIATOR	INT.	INTERIOR	R.D.	ROUGH OPENING	VI	VENDOR INSTALLED
BW.	BACK OF WALK	F.B.	FLAT BAR	JAN.	JANITOR	R.W.L.	RAIN WATER LEADER	W.	WEST
C.B.	CATCH BASIN	F.D.	FLOOR DRAIN	JT.	JOINT	REF.	REFRIGERATOR	W.C.	WATER CLOSET
C.G.	CORNER GUARD	F.D.C.	FIRE DEPARTMENT CONNECTION	REF.	REFRIGERATOR	REG.	REGISTER	W/	WITH
C.I.	CAST IRON	F.E.	FIRE EXTINGUISHER	REIN.	REINFORCED	REIN.	REINFORCED	W/O	WITHOUT
C.I.D.	CLEAR INSIDE DIMENSION	F.E.C.	FIRE EXTINGUISHER CABINET	KIT.	KITCHEN	REQD.	REQUIRED	WD.	WOOD
C.J.	CONTROL JOINT	F.F.	FINISH FLOOR	LAB.	LABORATORY	RESIL.	RESILIENT	WP.	WATERPROOF/WORK POINT
C.M.U.	CONCRETE MASONRY UNIT	F.F.E.	FINISH FLOOR ELEVATION	LAM.	LAMINATE	RN.	ROOM	WSCCT.	WASCOT
C.O.	CASED OPENING/CLEAN OUT	F.H.	FIRE HYDRANT	LAV.	LAVATORY	RWD.	REDWOOD	WT.	WEIGHT
C.L.	CENTERLINE	F.H.V.C.	FIRE HOSE VALVE CABINET	LKR.	LOCKER	S.	SOUTH	XFMR.	TRANSFORMER
C.A.B.	CABINET	F.O.	FACE OF	LT.	LIGHT	S.C.	SOLID CORE		
C.EM.	CEMENT	F.O.C.	FACE OF CONCRETE/CURB	M.C.	MEDICINE CABINET	S.S.	STAINLESS STEEL		
CEL.	CERAMIC	F.O.F.	FACE OF FINISH	M.O.	MASONRY OPENING	S.V.	SHEET VINYL		
CEG.	CEILING	F.O.M.	FACE OF MASONRY	MAX.	MAXIMUM	SECT.	SECTION		
CLKG.	CAULKING	F.O.S.	FACE OF STUD	MDF.	MEDIUM DENSITY FIBERBOARD	SHT.	SHEET		
CLD.	CLOSED	F.R.T.	FIRE RETARDANT TREATED	MECH.	MECHANICAL	SHW.	SHOWER		
CLK.	CLEAR	F.S.	FULL SIZE	MEMB.	MEMBRANE	SH.	SHEET		
CNL.	COUNTER	FDN.	FOUNDATION	MFR.	MANUFACTURER	SHM.	SEWER MANHOLE		
COL.	COLUMN	FIN.	FINISH	MH.	MANHOLE				
CONC.	CONCRETE	FL.	FLOW LINE	MIN.	MINIMUM				
CONN.	CONNECTION	FLASH.	FLASHING	MIRR.	MIRROR				
CONSTR.	CONSTRUCTION	FLR.	FLOOR	MISC.	MISCELLANEOUS				
CONT.	CONTINUOUS	CORR.	CORRIDOR	MTD.	MOUNTED				

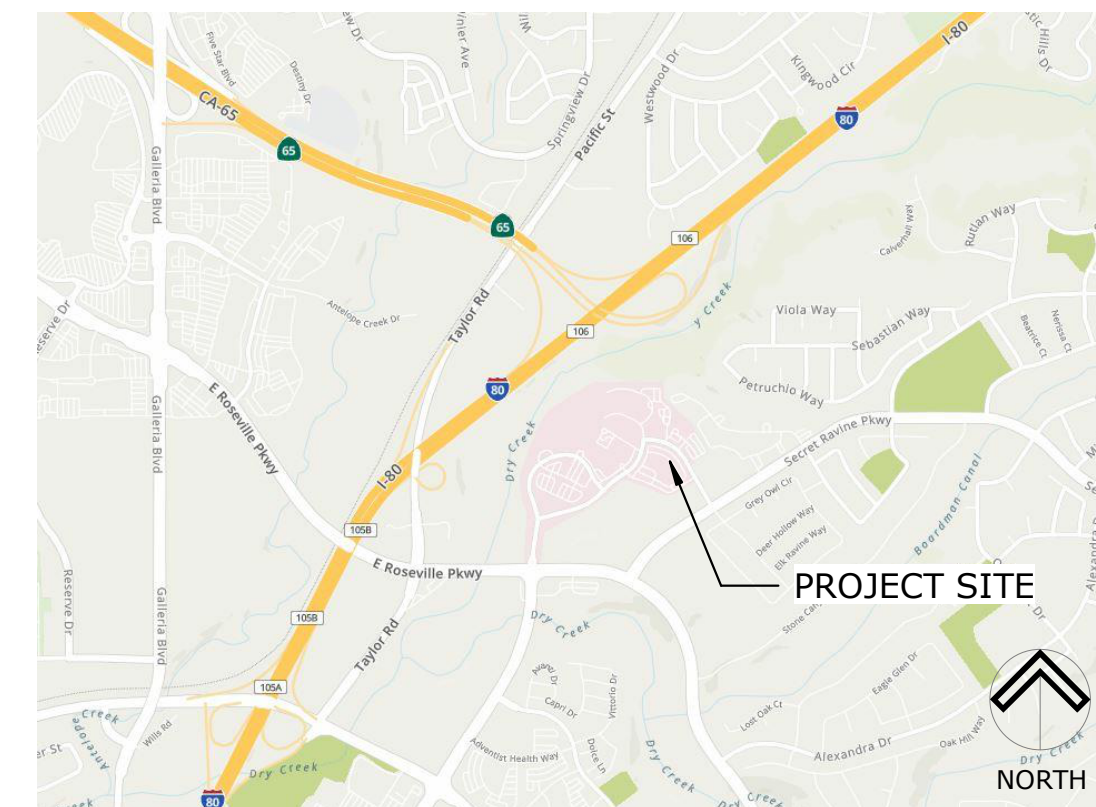
CITY APPROVAL STAMP



SYMBOLS

0	GRID LINE TYPICAL
ROOM NAME	WORK POINT, CONTROL POINT OR DATUM POINT
101	ROOM NAME
101	ROOM NUMBER
03 10 01	KEYNOTE TAG - CSI PREFIX
03 10 01	SEE NOTES ON SIDE OF SHEET
0000	DEMOLITION KEYNOTE TAG
0000	SEE NOTES ON SIDE OF SHEET
X101	DOOR TAG
X101	SEE DOOR SCHEDULE SHEET
S1	WINDOW TAG
S1	SEE WINDOW SCHEDULE SHEET
RTH-1	EQUIPMENT DESIGNATION
RTH-1	SEE EQUIPMENT SCHEDULE SHEET
XX-1	ACCESSORIES DESIGNATION
XX-1	SEE EQUIPMENT SCHEDULE SHEET
222	MILLWORK TYPE TAG
222	SEE DETAILS
PT-1	FINISH MATERIAL TAG
PT-1	SEE DETAILS
ACT-1	FINISH MATERIAL TAG (CEILING)
ACT-1	SEE DETAILS
CPT-1	FINISH MATERIAL TAG (FLOOR)
CPT-1	SEE DETAILS
XX-XX	SIGN NO.
XX-XX	SIGN TYPE
A30A	WALL TYPE TAG
A30A	SEE DETAILS
△	REVISION TAG
1	REFERENCE NO.
1	SEE SHEET INDICATED
1	REFERENCE NO.
1	SHEET NO.
1	REFERENCE NO.
1	SECTION CUT/EXTERIOR ELEVATION TAG
1	SEE SHEET INDICATED

VICINITY MAP



PROJECT TEAM

DEVELOPER	SEPAROVICH/DOMICH 3321 POWER INN ROAD, STE 100 SACRAMENTO, CA 95826 TELEPHONE: 916 736-9000 FACSIMILE: 916 736-6979 CONTACT: DAVID PADGHAM	CONTRACTOR	WESTFORK CONSTRUCTION 6050 WAREHOUSE WAY SACRAMENTO, CA 95826 TELEPHONE: 916 452-8197 FACSIMILE: 916 452-8190
ARCHITECTURAL	SIEGFRIED ENGINEERING 3540 FOLSOM BOULEVARD SACRAMENTO, CALIFORNIA 95816 TELEPHONE: 916 453-1234 FACSIMILE: 916 453-1236 CONTACT: TONY AMATO	CIVIL/LANDSCAPE	STOCKTON, CA 95219 TELEPHONE: 209 942-2014 FACSIMILE: 209 942-0214
STRUCTURAL/PARKING	BUEHLER ENGINEERING 600 Q STREET, SUITE #200 SACRAMENTO, CA 95811 TELEPHONE: 916 443-0303	ELECTRICAL	VASKO ELECTRIC INC. 4300 ASTORIA STREET SACRAMENTO, CA 95838 TELEPHONE: 916 568-7700 FACSIMILE: 916 568-7713

PROJECT SUMMARY

PROJECT LOCATION: 12 MEDICAL PLAZA
ROSEVILLE, CA 95661

PROJECT DESCRIPTION:
EXPANSION OF EXISTING PARKING GARAGE ON AN EXISTING MEDICAL CENTER CAMPUS. EXISTING GARAGE IS 5 LEVELS AND THE PROPOSED EXPANSION WILL BE 6 LEVELS. THE GARAGE WILL BE LOCATED IMMEDIATELY TO THE EAST OF THE EXISTING GARAGE AND DIRECTLY NORTH OF AN EXISTING MEDICAL OFFICE BUILDING. THE EXPANSION WILL HAVE ONE ADDITIONAL ENTRY INTO THE GARAGE AT THE EAST WHILE STILL UTILIZING THE EXISTING GARAGE ENTRIES FROM THE NORTH AND WEST. SITE IMPROVEMENTS ARE INCLUDED IN THE SCOPE OF WORK AS WELL AS MECHANICAL, PLUMBING, AND ELECTRICAL UTILITIES.

TYPE OF CONSTRUCTION: TYPE IIB

OCCUPANCY: 'S-2' OCCUPANCY, WITH ADDITIONAL REQUIREMENTS LISTED IN CBC SECTION 406

BUILDING AREA:	EXISTING	NEW EXPANSION	TOTAL
LEVEL 01	33,295 SF	33,031 SF	66,326 SF
LEVEL 02	34,245 SF	32,640 SF	66,885 SF
LEVEL 03	34,245 SF	33,035 SF	67,280 SF
LEVEL 04	34,245 SF	33,035 SF	67,280 SF
LEVEL 05	31,498 SF	28,196 SF	59,694 SF
LEVEL 06	-	32,020 SF	32,020 SF
TOTAL	167,528 SF	191,957 SF	359,485 SF

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:

- 2019 CBC CALIFORNIA BUILDING CODE WITH CITY OF ROSEVILLE AMENDMENTS
- 2019 CEC CALIFORNIA ELECTRIC CODE WITH CITY OF ROSEVILLE AMENDMENTS
- 2019 CMC CALIFORNIA MECHANICAL CODE
- 2019 CPC CALIFORNIA PLUMBING CODE
- 2019 CFC CALIFORNIA FIRE CODE WITH CITY OF ROSEVILLE AMENDMENTS
- 2019 CGC CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CFC CALIFORNIA ENERGY CODE
- 2019 CFC CALIFORNIA MECHANICAL CODE
- 2019 CFC CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
- 2020 NFPA 25 CALIFORNIA EDITION - STANDARD OF WATER BASED FIRE PROTECTION SYSTEMS
- 2019 NFPA 72 NATIONAL FIRE ALARM SIGNALING CODE, AS AMENDED BY THE STATE OF CALIFORNIA

CFC SECTION 503 FIRE APPARATUS ACCESS ROAD:
PER CFC 503.1.1, EXCEPTION 1, THE FIRE CODE OFFICIAL IS AUTHORIZED TO INCREASE THE DIMENSION OF 150 FEET WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, 903.3.1.2, OR 903.3.1.3.

BICYCLE PARKING CALCULATIONS

PARKING SPACES PROVIDED AT GARAGE EXPANSION: 463
PARKING SPACES REQUIRED FOR MOB 10: 332
463 - 332 = 131 PARKING SPACES NOT NEEDED FOR MOB 10

SHORT-TERM: 5% OF PARKING SPACES WITHIN 200 FEET OF VISITORS' ENTRANCE, READILY VISIBLE TO PASSENGERS-BY, WITH A MINIMUM OF ONE TWO-BIKE CAPACITY RACK.
5% OF 332 = 12 SHORT-TERM BICYCLE SPACES AT MOB 10
5% OF 131 = 2 SHORT-TERM BICYCLE SPACES AT PARKING GARAGE

LONG-TERM: 5% OF PARKING SPACES WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY.
5% OF 463 = 24 LONG-TERM BICYCLE SPACES AT PARKING GARAGE.

VEHICLE PARKING CALCULATIONS

TOTAL PARKING COUNT

LEVEL	EXISTING GARAGE	EXPANSION	TOTAL
LEVEL 01	97	89	186
LEVEL 02	94	96	190
LEVEL 03	96	101	197
LEVEL 04	100	101	201
LEVEL 05	90	80	170
LEVEL 06	-	84	84
TOTAL	477	551	1,028

PARKING STALLS NEEDED IN THE GARAGE
[PER 2022 FHVR & PEERS TRAFFIC STUDY - 3.31 SPACES PER 1000 SF]
TOTAL STALLS REQUIRED FOR MOB 10 (100,000 SF) = 332
TOTAL SURFACE STALLS PROVIDED AT MOB 10 (PHASE 2) = -8
TOTAL STALLS REQUIRED IN PARKING GARAGE EXPANSION = 324

PARKING STALLS PROVIDED IN THE GARAGE

- PARKING GARAGE EXPANSION COUNT = 551
- SURFACE STALLS LOST TO GARAGE EXPANSION = -93
- SURFACE STALLS DISPLACED BY MOB 10 = -90
- EXISTING GARAGE STALLS DISPLACED BY EXPANSION = -14
- NET GAIN OF PARKING STALLS = 345

PARKING COUNT - BY STALL TYPE

LEVEL	STANDARD	COMPACT	CLEAN AIR/ CARPOOL/EV	CLEAN AIR	ACCESSIBLE
LEVEL 01	43	51	1	0	2
LEVEL 02	59	35	0	0	0
LEVEL 03	57	39	0	0	4
LEVEL 04	56	43	0	0	1
LEVEL 05	53	34	0	0	3
TOTAL	268	202	1	0	6

EXISTING SURFACE LOT - TO BE REMOVED

LEVEL	STANDARD	COMPACT	CLEAN AIR/ CARPOOL/EV	CLEAN AIR	ACCESSIBLE	TOTAL
LEVEL 01	41	29	1	0	22	93

EXPANSION

LEVEL	STANDARD	COMPACT	CLEAN AIR/ CARPOOL/EV	CLEAN AIR	ACCESSIBLE
LEVEL 01	11	13	34	11	20
LEVEL 02	52	12	28	0	4
LEVEL 03	52	43	0	0	6
LEVEL 04	51	43	1	0	6
LEVEL 05	39	34	1	0	6
LEVEL 06	47	37	0	0	0
TOTAL	252	182	64	11	42

ACCESSIBLE STALL COUNT - BY STALL TYPE

EXISTING GARAGE	LEVEL	STANDARD	VAN	EV - STANDARD	EV - VAN	EV - AMBULATORY
LEVEL 01	0	1	0	0	0	
LEVEL 02	0	0	0	0	0	
LEVEL 03	0	0	0	0	0	
LEVEL 04	1	0	0	0	0	
LEVEL 05	2	1	0	0	0	
TOTAL	5	2	1	0	0	

EXPANSION

LEVEL	STANDARD	VAN	EV - STANDARD	EV - VAN	EV - AMBULATORY
LEVEL 01	17	3	3	1	2
LEVEL 02	3	1	0	0	0
LEVEL 03	5	1	0	0	0
LEVEL 04	6	1	0	0	1
LEVEL 05	7	2	0	0	1
LEVEL 06	0	0	0	0	0
TOTAL	38	9	4	1	4

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SUTTER HEALTH PARKING GARAGE 12 EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

COVER SHEET

GENERAL NOTES

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE CITY OF ROSEVILLE STANDARD SPECIFICATIONS AND PLANS, LATEST EDITION, AND ALL AMENDMENTS THERE TO-DATE.
- FOR ELEVATIONS REFER TO BENCHMARK REFERENCED ON SHEET C2.01.
- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE CURRENT CITY OF ROSEVILLE STANDARDS AND ALL UPDATES AND REVISIONS MADE TO ANY OF THE CITY OF ROSEVILLE STANDARD DETAILS SHOWN ON THESE PLANS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR BEING FAMILIAR WITH THE WRITTEN SPECIFICATIONS AND/OR OTHER STANDARD DETAILS NOT SHOWN BUT WHICH ARE INCLUDED IN THE CITY OF ROSEVILLE STANDARD SPECIFICATIONS AND PLANS.
- DRAWING NUMBERS SHOWN ON THE PLANS REFER TO CITY OF ROSEVILLE STANDARD PLANS, SHOWN THUS: C.O.R. DETAIL NO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FROM DAMAGE ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN. SUCH IMPROVEMENTS THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT HIS EXPENSE.
- ALL TRENCH EXCAVATION SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARD SPECIFICATIONS.
- EXCAVATION OF 5 FEET OR MORE IN DEPTH WILL REQUIRE AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY.
- THE CONTRACTOR SHALL DEMOLISH, EXCAVATE, REMOVE AND DISPOSE OF ALL EXISTING CONCRETE CURB, GUTTER OR SIDEWALK, ASPHALT CONCRETE PAVING, AND DELETERIOUS MATERIAL AS REQUIRED TO CONSTRUCT THE CONTRACT WORK. ALL SUCH EXCESS MATERIAL GENERATED SHALL BE DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE WITHIN THE CITY RIGHT-OF-WAY FROM THE CITY OF ROSEVILLE PUBLIC WORKS DEPARTMENT, AND NOTIFY THE CITY 48 HOURS IN ADVANCE OF STARTING ANY WORK TO BE ACCEPTED FOR OWNERSHIP AND MAINTENANCE BY THE CITY OF ROSEVILLE.
- EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST. THE OWNER AND THE ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES.
- ATTENTION IS CALLED TO: SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS (TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540), ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973, AS AMENDED, WHICH STATES:

"PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATION I.E., SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND, IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION."
- THE CONTRACTOR SHALL CONTACT THE CITY OF ROSEVILLE AT LEAST 72 HOURS IN ADVANCE OF THE CONTRACTOR'S INTENT TO CONNECT TO PUBLIC UTILITIES TO COORDINATE THE CONNECTION TO PUBLIC WATER, SEWER AND STORM DRAINAGE SYSTEMS.
- PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD THEIR MAIN SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS OF THE UNDERGROUND SERVICE ALERT (U.S.A.) 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (909)227-2600.
- THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES AND VERIFY ALL UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF HIS CONTRACT. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICES TO THE DEVELOPMENT.
- WHenever existing pavement is broken or cut during the installation of the work covered by these plans and specifications, the pavement shall be replaced with pavement materials equal to or better than the materials used in the original paving. The finished pavement shall be subject to the approval of the city engineer if located within city right-of-way.
- PAYMENT FOR PAVEMENT WILL BE MADE FOR THE AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT IN THE INSTALLATION OF THE IMPROVEMENTS COVERED BY THESE PLANS AND SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE STREET CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
- THE CONTRACTOR SHALL EXPOSE EXISTING STORM DRAINS, WATER MAINS, AND SANITARY SEWERS WHERE CONNECTIONS AND CROSSINGS ARE TO BE MADE SO EXISTING FLOWLINES AND LOCATIONS CAN BE VERIFIED BEFORE THE START OF CONSTRUCTION.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONSTRUCTION STAKING: CONSTRUCTION STAKING IS NORMALLY PERFORMED BY THE ENGINEER WHO PREPARED THE PLAN. THIS PERMITS APPROPRIATE ON-SITE INTERPRETATION AND ADJUSTMENT OF THE PLANS. IF NECESSARY, CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS PRIOR TO THE ACTUAL NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS WHICH EXTENDS BEYOND THE ORIGINAL SCOPE OF WORK DEFINED IN THESE PLANS SHALL BE SUBJECT TO AN EXTRA WORK CHARGE TO THE CONTRACTOR. THIS NOTE GIVES FORMAL NOTICE THAT THE FIRM OF SIEGFRIED ENGINEERING, INC. CANNOT, AND WILL NOT, TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED OR DETECTED AND/OR CORRECTED OR MITIGATED HAD SIEGFRIED ENGINEERING, INC. PERFORMED THE CONTRACT STAKING WORK.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF ROSEVILLE FOR USE OF WATER FROM FIRE HYDRANTS FOR CONSTRUCTION PURPOSES. THE PERMIT SHALL BE APPROVED BY THE CITY OF ROSEVILLE FIRE DEPARTMENT.
- THE PROPERTY OWNERS, DEVELOPERS, AND/OR SUCCESSORS IN INTEREST SHALL COMPLY WITH THE PROVISIONS OF THE CALIFORNIA GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT AND STATE WATER RESOURCES CONTROL BOARD ORDER NUMBER 99-08-DWQ COMPLIANCE IS MANDATORY PER THE CITY OF ROSEVILLE'S GRADING AND EROSION CONTROL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT AND A GRADING AND EROSION CONTROL PERMIT PRIOR TO STARTING ANY WORK, UNLESS OTHERWISE APPROVED BY THE CITY.
- DUST CONTROL SHALL BE PERFORMED AT ALL TIMES, AT THE CONTRACTORS' EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH SECTION 10 OF CALTRANS STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF ROSEVILLE.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION, AND SHALL DEWATER AND DISPOSE OF THE WATER SO AS TO NOT CAUSE INJURY TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THE GROUNDWATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COSTS FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATION OF ANY FILL TO THE SPECIFIED DENSITY. DISPOSAL OF WATER SHALL BE IN ACCORDANCE WITH THE APPROVED SWPPP AND SHALL NOT DAMAGE PROPERTY, CREATE A PUBLIC NUISANCE OR VIOLATE THE LAW. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. THE DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACK-FILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
- SITE PREPARATION SHALL INCLUDE STRIPPING AND REMOVAL OF ALL VEGETATION AND ANY DEBRIS FROM THE CONSTRUCTION AREAS. THE DEPTH OF STRIPPING ONSITE SHALL BE EVALUATED BY THE OWNER'S SOILS ENGINEER.

- ANY VOIDS LEFT BY THE REMOVAL OF UNDERGROUND UTILITIES OR OTHER BURIED OBJECTS SHALL BE CLEANED OF ALL LOOSE SOILS AND SHALL BE PROPERLY BACKFILLED WITH ENGINEERED FILL THAT THE OWNER'S SOIL ENGINEER APPROVES, MONITORS, TESTS, AND APPROVES.
- THE SUBGRADE SOILS BENEATH ALL PAVING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE DRY DENSITY WHICH THE OWNER'S SOIL ENGINEER SPECIFIES.
- ANY SOFT OF LOOSE SOIL POCKETS FOUND ONSITE DURING THE STRIPPING OR RECOMPACT PROCESS, THEY SHALL BE OVER EXCAVATED AND RECOMPACTED.
- ENGINEERED FILL SHALL BE PLACED IN HORIZONTAL LAYERS A MAXIMUM OF 8 INCHES IN LOOSE THICKNESS AND BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE OWNER'S SOIL ENGINEER.
- SUBGRADE SOILS UNDER EXTERIOR CONCRETE SHALL BE MOISTURE CONDITIONED AS APPROVED, TESTED AND INSPECTED BY THE OWNER'S SOIL ENGINEER.
- CONTRACTOR SHALL MAINTAIN MOISTURE CONDITION RIGHT UP TO POURING OF CONCRETE.

GRADING NOTES

- GRADING AND LAND STABILIZATION SHALL INCLUDE EXCAVATION AND FILL OF STREETS IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SOILS ENGINEER AND UNDER THE DIRECTION, SUPERVISION, MONITORING, TESTING AND APPROVAL OF THE OWNER AND OWNER'S SOILS ENGINEER.
- GRADING AND LAND STABILIZATION SHALL INCLUDE COST OF DEWATERING; REMOVING FROM THE SITE ALL STRIPPED VEGETATION, DEBRIS, STRUCTURES, POWER POLES, EXISTING PAVEMENT, BUILDINGS, TREES, AND OTHER DELETERIOUS MATERIALS.
- STOCKPILES OF EXISTING DELETERIOUS MATERIAL SHALL BE DISPOSED OF UNDER THE DIRECTION AND SUPERVISION OF THE OWNER AND OWNER'S SOILS ENGINEER.
- ALL IMPORTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER.
- TOPOGRAPHICAL INFORMATION SHOWN REFLECTS A TOPOGRAPHY SURVEY PERFORMED BY SIEGFRIED ENGINEERING AND RECORD INFORMATION. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- ANY AND ALL SEDIMENT AND/OR EROSION CONTROL DETAILS CONTAINED WITHIN THESE PLANS ARE TO BE CONSIDERED AS "REFERENCE DETAILS" ONLY AND THE CITY'S APPROVAL OF THESE PLANS AND "REFERENCE DETAILS" DOES NOT RELIEVE THE OWNER/DEVELOPER FROM COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN AS APPROVED BY THE CITY'S STORM WATER DIVISION.

UTILITY NOTES

WATER

- ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF ROSEVILLE SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
- ALL WATER SERVICES SHALL BE 1" MINIMUM. WATER SERVICE SHALL BE CONNECTED TO WATER MAINS WITH TWO-STRAP BRONZE SADDLES. CITY SHALL MAKE ALL TAPS ON EXISTING WATER MAINS ONLY.
- ALL VALVES, TEES AND CROSSES TO BE FLANGED TO THEIR RESPECTIVE FITTINGS. WATER VALVES TO BE RESILIENT SEAT ONLY.
- WATER LINES, VALVES, BACKFLOW PREVENTER DEVICES, FIRE HYDRANTS, ETC. SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARDS.
- ALL VALVE STEMS MUST BE BROUGHT TO A MINIMUM OF 4' BELOW FINISH GRADE WITH STEM EXTENSION UNITS.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL REQUIRED LOCATIONS ON WATER LINE IN ACCORDANCE WITH THE CITY OF ROSEVILLE SPECIFICATIONS AND DETAILS.

STORM DRAIN

- STORM DRAIN PIPE SIZES SHALL NOT BE CHANGED WITHOUT THE APPROVAL OF THE CITY ENGINEER AND THE DESIGN ENGINEER.
- STORM DRAIN PIPE ALTERNATIVES:
 a. PRECAST REINFORCED CONCRETE PIPE (RCP), PER CITY OF ROSEVILLE STANDARD
 b. HIGH DENSITY POLYETHYLENE PIPE (HDPE), PER CITY OF ROSEVILLE STANDARD
 c. POLYVINYL CHLORIDE PIPE (PVC), PER CITY OF ROSEVILLE STANDARD
 d. STEEL REINFORCED HIGH DENSITY POLYETHYLENE PIPE (SRHDPE), PER CITY OF ROSEVILLE STANDARD
 e. CAST-IN-PLACE CONCRETE PIPE, PER CITY OF ROSEVILLE STANDARD
- CATCH BASINS TO BE CONSTRUCTED PER CITY STANDARD DETAILS.
- ALL CONSTRUCTION SITE ACTIVITIES, REGARDLESS OF PROJECT SIZE, SHALL CONFORM TO CHAPTER 16 OF THESE STANDARDS. PROJECTS GREATER THAN ONE (1) ACRE SHALL ALSO CONFORM TO THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT.

SANITARY SEWER

- SANITARY SEWER MANHOLES AND PIPE SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARDS.

ABBREVIATION

@
 AB
 ABS
 AC
 BCR
 BO
 BOC
 BOW
 C & G
 C.G. & SW
 CL
 CB
 CJ
 CO
 COR
 DIA
 DIP
 DWG
 EBOW
 ECR
 EL
 EG
 EP
 ESMT
 EX
 FL
 FH
 FOC
 FT
 G
 GB
 HP
 ID
 IN
 LF
 LH
 LP
 LT
 LTS
 MAX
 MH
 MN
 MIN
 NRCP
 NTS
 OD
 P
 PC
 PCC
 POT
 PRC
 PT
 PUE
 PVC
 PL
 R
 RW
 RC
 RCP
 RP
 RT
 SD
 SS
 SL
 SW
 SDMH
 SHT
 SSMH
 STA
 STD
 TC
 TOW
 THRU
 TI
 TYP
 VERT
 W
 WP
 (W)
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 ±

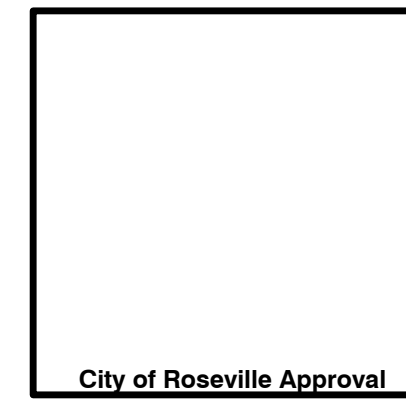
DESCRIPTION

AT
 AGGREGATE BASE
 ACRYLONITRILE-BUTADIENE-STYRENE
 ASPHALT CONCRETE
 BEGINNING OF CURB RETURN
 BLOWOFF
 BACK OF CURB
 BACK OF WALK
 CURB AND GUTTER
 CURB, GUTTER, AND SIDEWALK
 CENTERLINE
 CATCH BASIN
 CONSTRUCTION JOINT
 CLEANOUT
 CITY OF ROSEVILLE
 DIAMETER
 DUCTILE IRON PIPE
 DRAWING
 EXISTING BACK OF WALK
 END OF CURB RETURN
 ELEVATION
 EXISTING GROUND
 EDGE OF PAVEMENT, EXISTING PAVEMENT
 EASEMENT
 EXISTING
 FLOWLINE
 FIRE HYDRANT
 FACE OF CURB
 FEET
 GROUND
 GRADE BREAK
 HIGH POINT
 INSIDE DIAMETER
 INCH
 LINEAL FEET
 LAMP HOLE
 LOW POINT
 LEFT
 LIME TREATED SUB-BASE
 MAX
 MAINTENANCE HOLE
 MINIMUM
 NUMBER
 NON-REINFORCED CONCRETE PIPE
 NOT TO SCALE
 OUTSIDE DIAMETER
 PAVEMENT
 POINT OF CURVATURE
 POINT OF COMPOUND CURVATURE
 POINT OF TANGENCY
 POWER POLE
 POINT OF REVERSE CURVATURE
 POINT
 PUBLIC UTILITY EASEMENT
 POLYVINYL CHLORIDE
 PROPERTY LINE
 RADIAL OR RADIUS
 RIGHT-OF-WAY
 ROLL-CURB
 REINFORCED CONCRETE PIPE
 RADIUS POINT
 RIGHT
 STORM DRAIN
 SANITARY SEWER
 STREET LIGHT
 SIDEWALK
 STORM DRAIN MAINTENANCE HOLE
 SHEET
 SANITARY SEWER MAINTENANCE HOLE
 STATION
 STANDARD
 TOP OF CURB
 TOP OF WALL
 THROUGH
 TRAFFIC INDEX
 TYPICAL
 VERTICAL
 WATER
 WEAKENED PLANE
 WEST
 EAST
 SOUTH
 NORTH
 PLUS OR MINUS

LEGEND

EXISTING	PROPOSED

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SUTTER HEALTH
 PARKING GARAGE 12
 EXPANSION

12 MEDICAL PLAZA
 ROSEVILLE, CA 95661

GENERAL NOTES

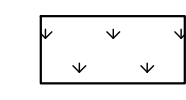
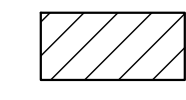
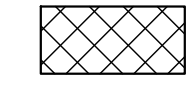

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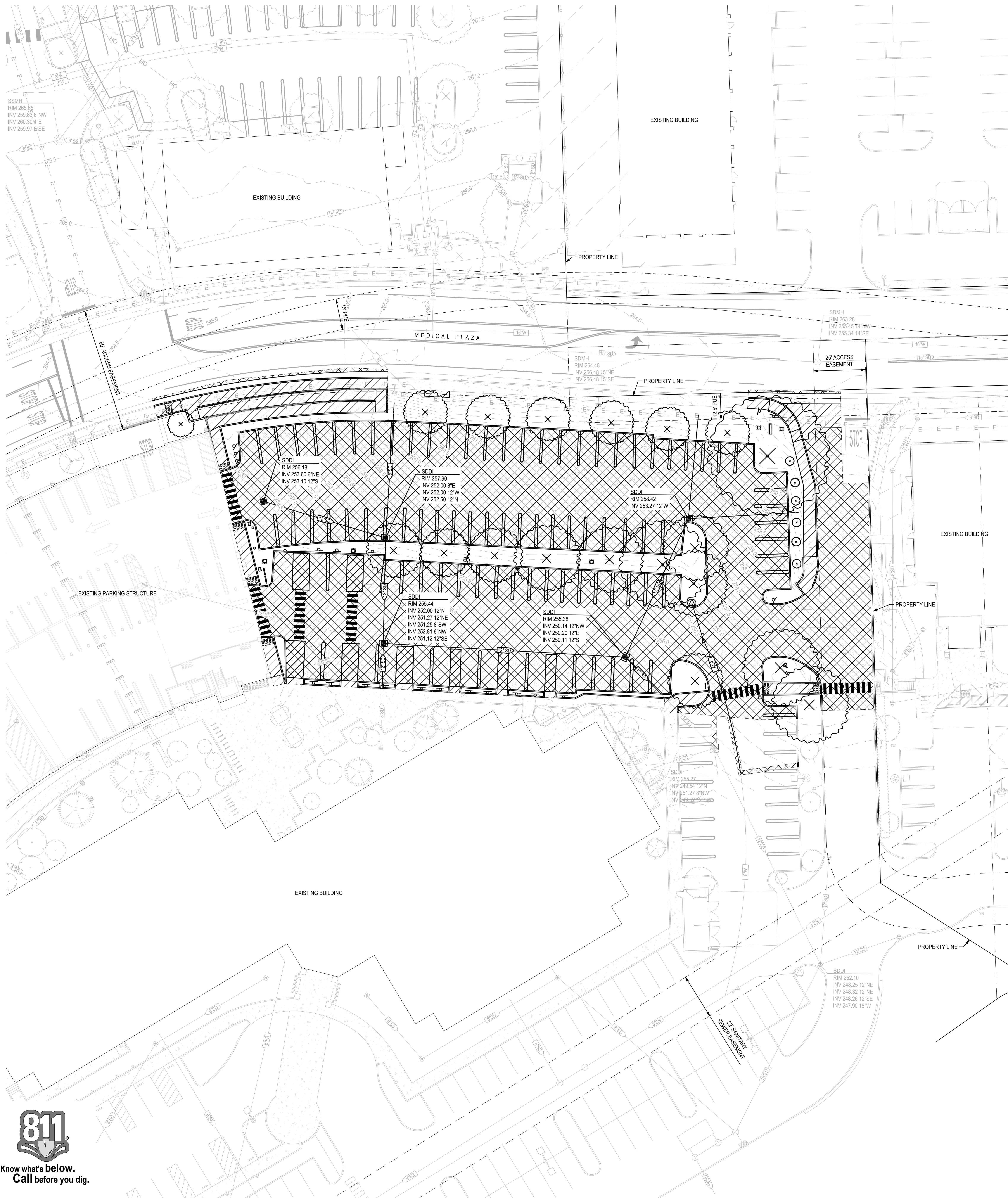
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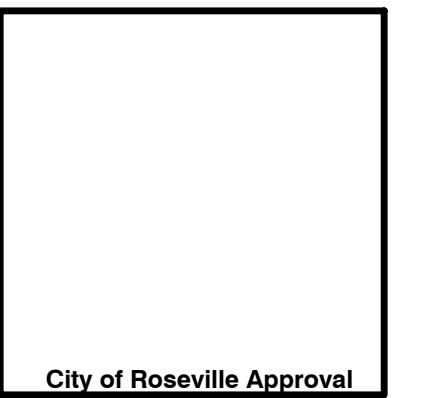
Know what's below.
 Call before you dig.

DEMOLITION LEGEND:

-  CLEAR AND GRUB EXISTING UNDEVELOPED AREAS, REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS.
-  REMOVE AND DISPOSE OF EXISTING CONCRETE, REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS.
-  REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT, REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS.
-  EXISTING CONCRETE TO REMAIN



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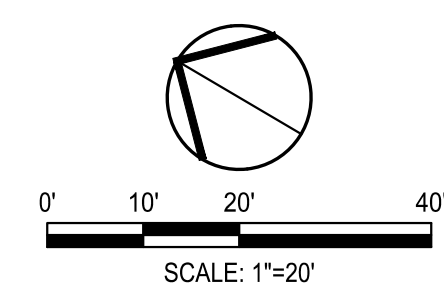
**SUTTER HEALTH
PARKING GARAGE 12
EXPANSION**

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

**TOPOGRAPHY & DEMOLITION
PLAN**

DEMOLITION NOTES:

1. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL HAVE THE EXISTING DRY UTILITIES POT HOLED FOR VERIFICATION OF LOCATION AND DEPTH. AT SUCH TIME, POT HOLE DATA SHALL BE PROVIDED TO THE ENGINEER FOR DETERMINATION OF ADEQUATE CLEARANCE AND SEPARATION.
2. ALL EXCAVATIONS SPOILS, INCLUDING, BUT NOT LIMITED TO CONCRETE AND PAVEMENT EXCAVATION, SHALL BE EXPORTED AND DISPOSED OF BY THE CONTRACTOR.
3. EXISTING STRUCTURES, CONCRETE, PAVEMENT, FENCES, CURBS, UTILITY BOXES, LIGHTS, GATES, ETC. NOT CALLED OUT IN PLANS TO BE REMOVED OR TO REMAIN SHALL BE PROTECTED IN PLACE.
4. CONTRACTOR TO PROVIDE TREE PROTECTION AS NECESSARY DURING CONSTRUCTION TO PRESERVE EXISTING TREES. TREES NOT IDENTIFIED AS TO BE REMOVED OR TO REMAIN ARE ASSUMED TO REMAIN.

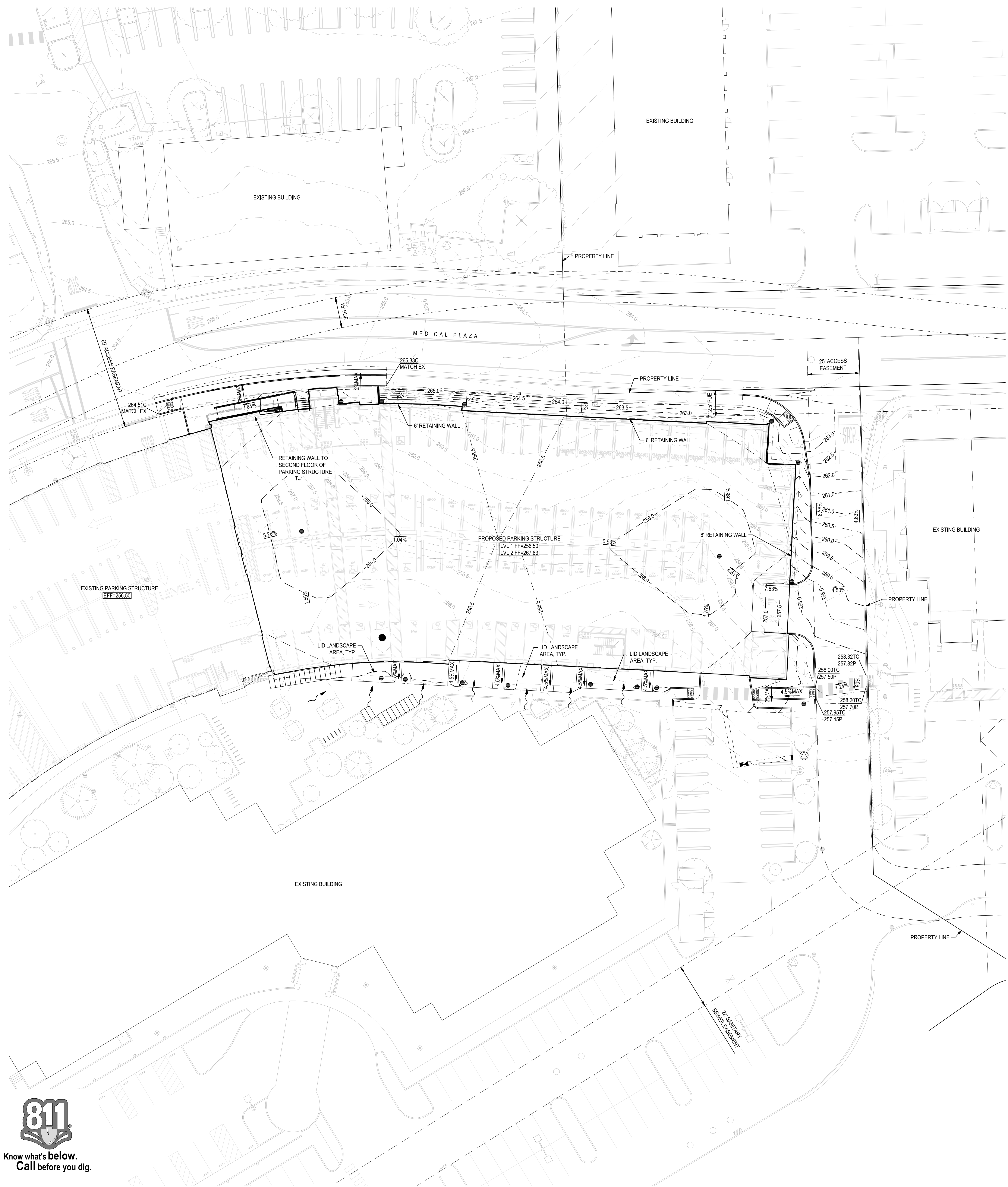


LEGEND

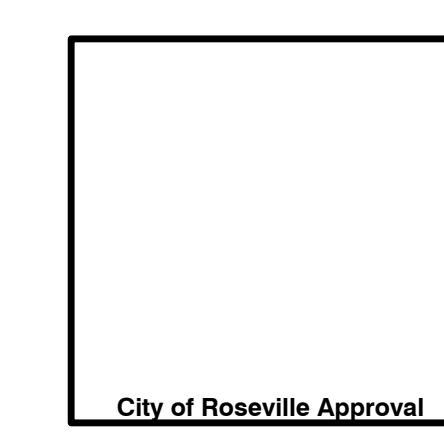
	GRADE SLOPE PERCENTAGE
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR
	GRADE BREAK
	RIDGE

GRADING LEGEND

ABBREVIATION	DESCRIPTION
BW	BACK OF WALK
BOW	BOTTOM OF WALL
C	CONCRETE
DG	DECOMPOSED GRANITE
EC	EXISTING CONCRETE
EFL	EXISTING FLOWLINE
EG	EXISTING GROUND ELEVATION
EL	EXISTING PAVEMENT ELEVATION
EP	EXISTING PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISH GROUND
FP	FINISH PAD ELEVATION
FL	FLOWLINE
G	GROUND
GB	GRADE BREAK
HP	HIGH POINT
LB	LIGHT BASE
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
P	PAVEMENT
TC	TOP OF CURB
TOW	TOP OF WALL
TYP	TYPICAL



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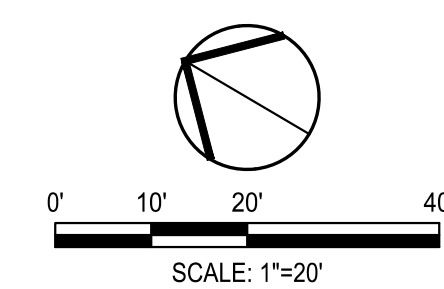
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**SUTTER HEALTH
PARKING GARAGE 12
EXPANSION**

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

GRADING PLAN



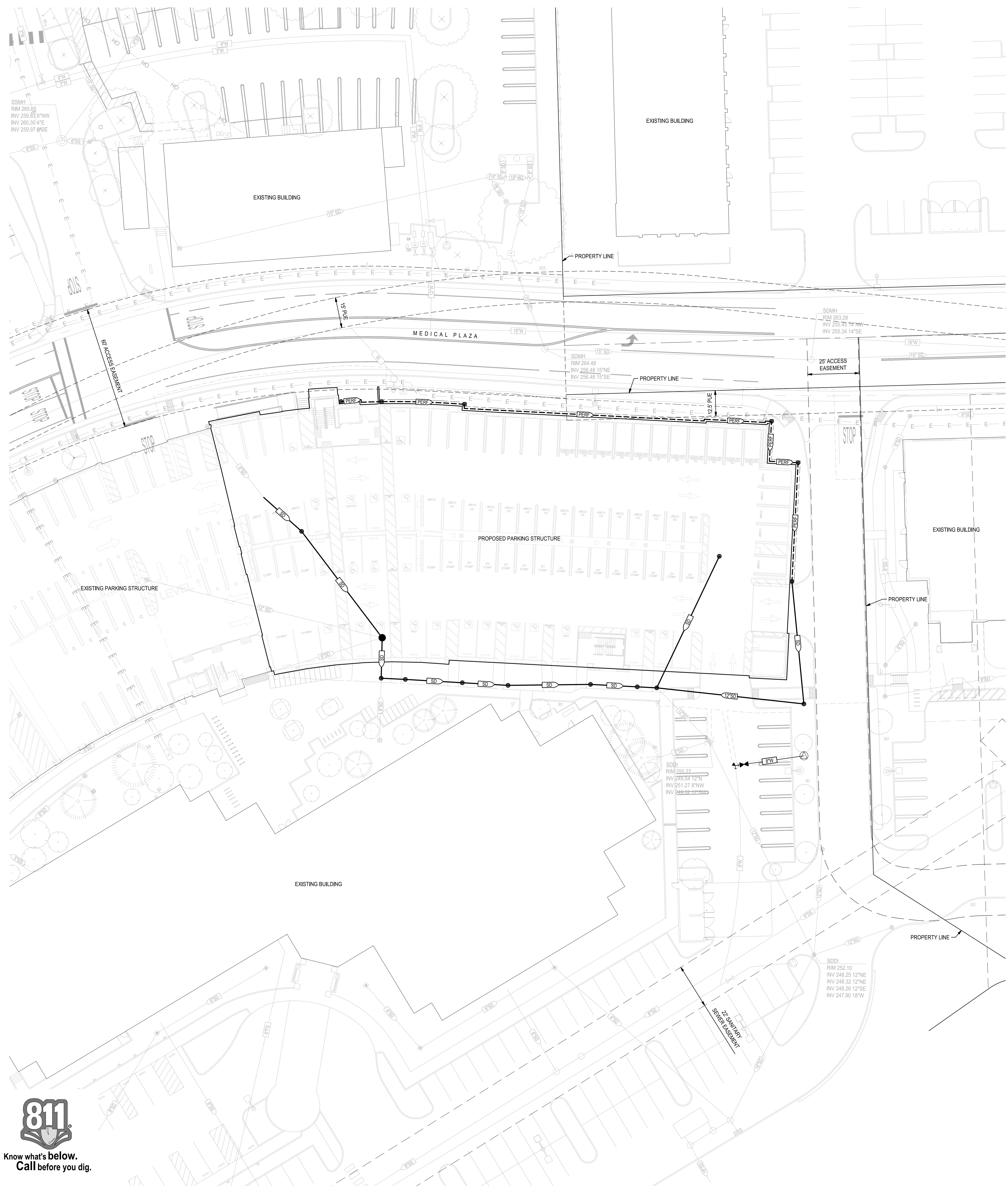
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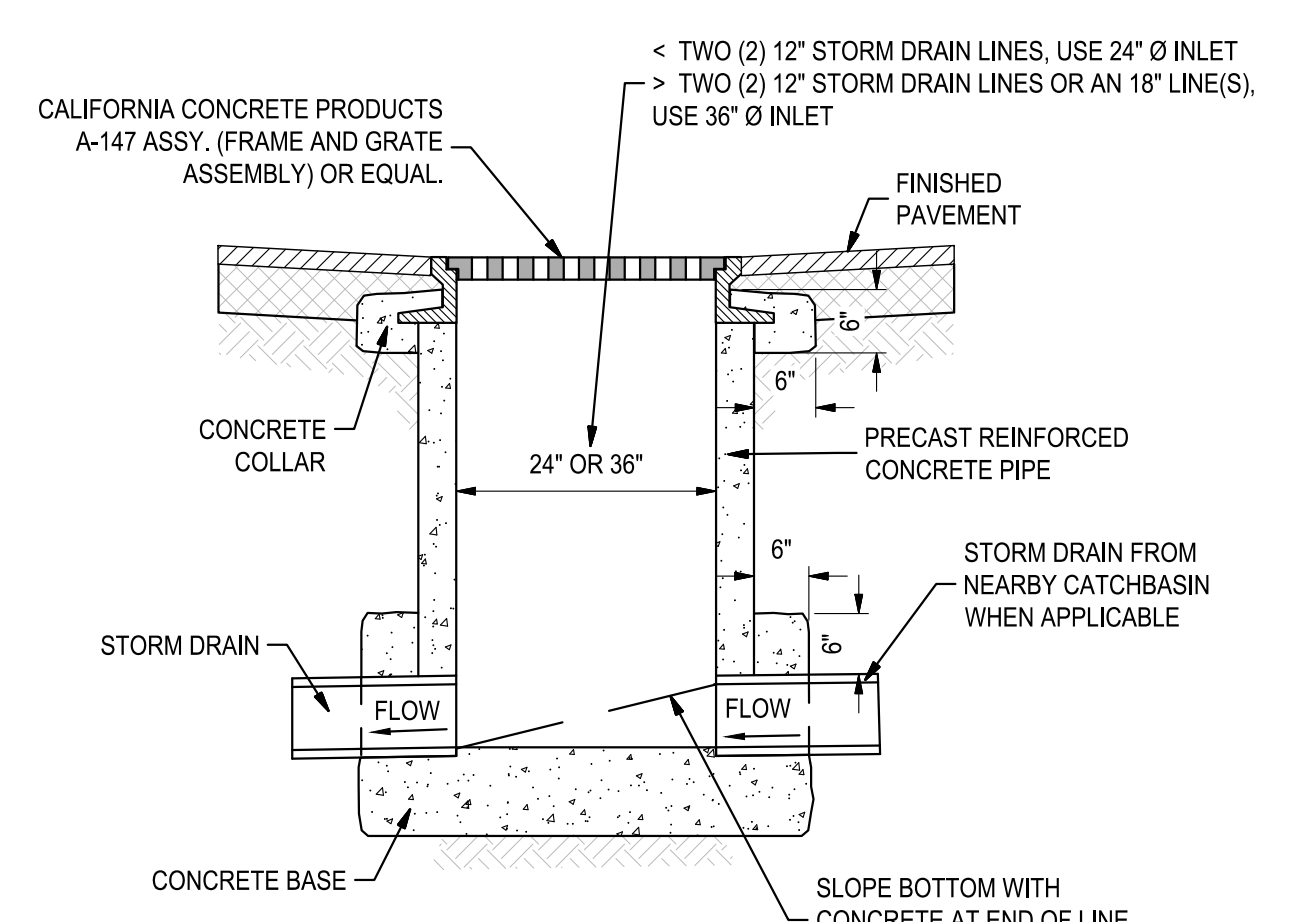
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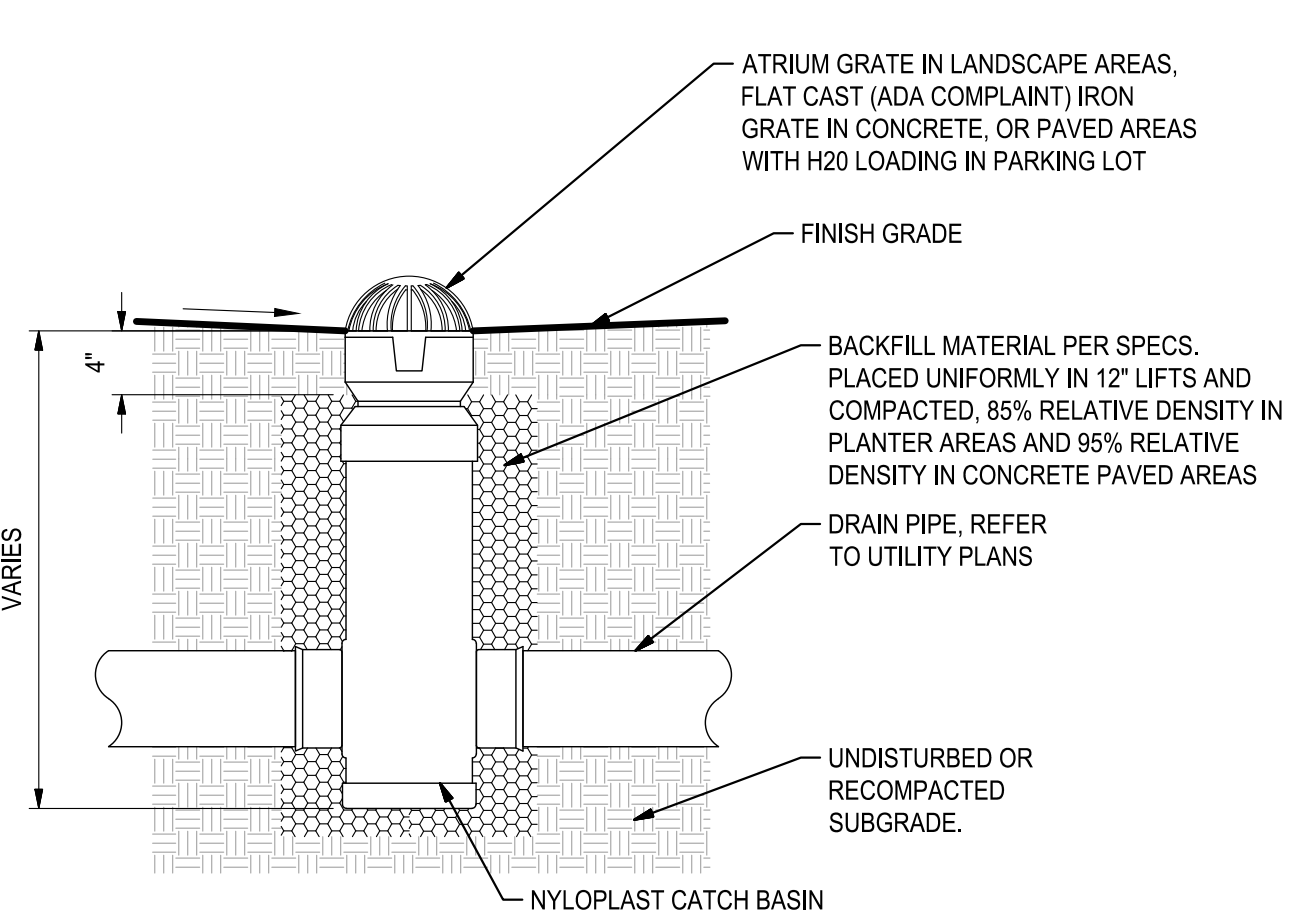


UTILITY LEGEND:

- PROPOSED MANHOLE
- PROPOSED DRAIN INLET
- ▲ SHUT OFF VALVE
- ▲ PROPOSED FIRE DEPARTMENT CONNECTION
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTION DEVICE
- EXISTING MANHOLE
- EXISTING UTILITY BOX/VAULT
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM DRAIN INLET
- SS — PROPOSED SANITARY SEWER LINE
- SD — PROPOSED STORM DRAIN PIPE
- W — PROPOSED WATER LINE
- FS — PROPOSED FIRE SERVICE LINE
- FH — PROPOSED FIRE HYDRANT LINE
- IR — PROPOSED IRRIGATION LINE
- SD — EXISTING STORM DRAIN PIPE
- SS — EXISTING SANITARY SEWER PIPE
- W — EXISTING WATER LINE
- OH — EXISTING OVERHEAD LINE
- AT&T — EXISTING AT&T LINE
- PG&E — EXISTING PG&E LINE



1 STORM DRAIN INLET
NOT TO SCALE



2 AREA DRAIN
NOT TO SCALE

UTILITY CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF ROSEVILLE STANDARD SPECIFICATIONS (LATEST EDITION) AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
- ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
- EXTREME CAUTION SHALL BE USED WHEN NEAR PG&E FACILITIES. EXACT DEPTH AND LOCATION OF PG&E GAS MAIN UNKNOWN.
- WATER SERVICES NOT USED SHALL BE REMOVED AT THE MAIN. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FROM CITY OF STOCKTON FOR THIS WORK.
- PROVIDE AN 18 GAUGE (BLUE) TRACER WIRE WITH SITE PVC PIPING

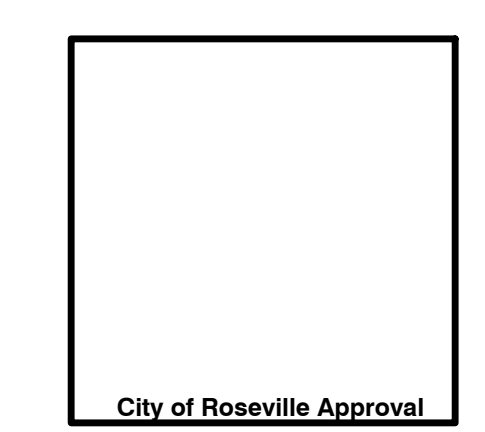
EXISTING UTILITIES:

- EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITHIN 48 HOURS PRIOR OF CONSTRUCTION TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

TRENCH EXCAVATION SAFETY PROTECTION:

CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS, AND / OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND / OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CITY APPROVAL STAMP



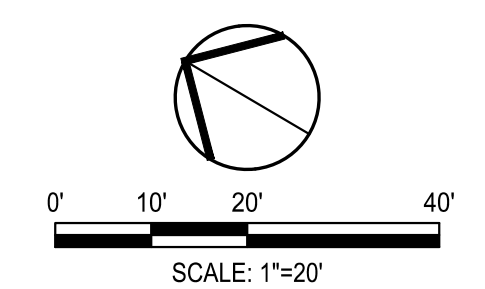
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SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

UTILITY PLAN



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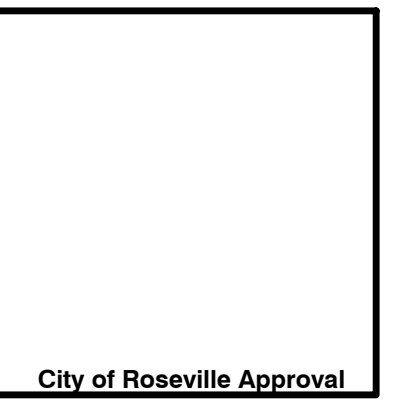
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SUTTER HEALTH
PARKING GARAGE 12
EXPANSION




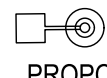
12 MEDICAL PLAZA
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PHOTOMETRICS PLAN

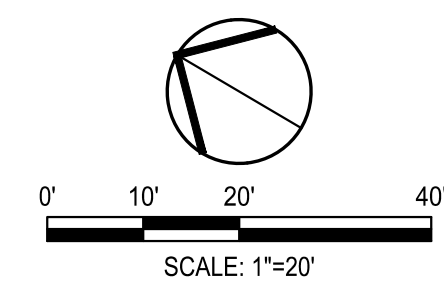
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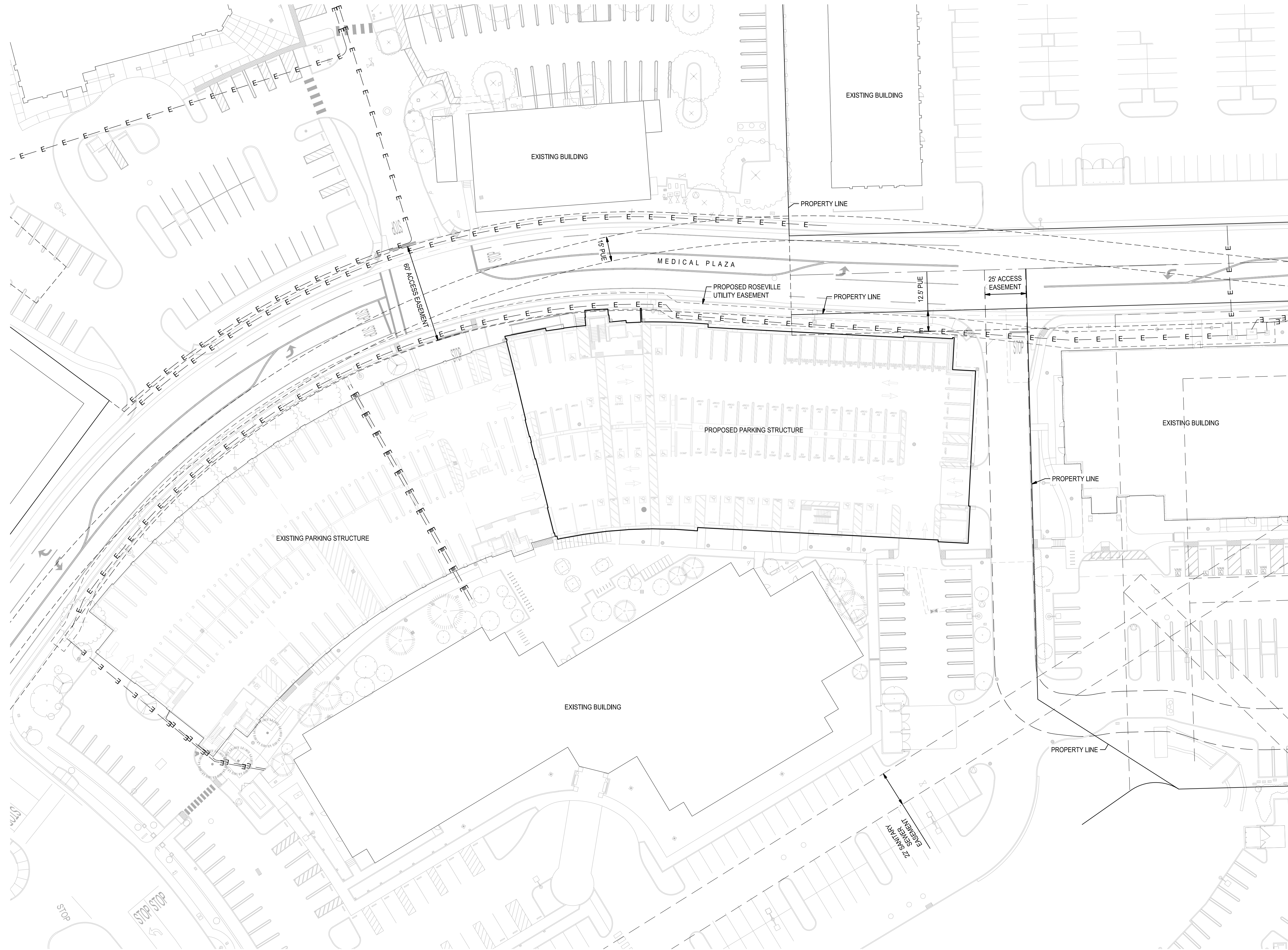
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LIGHTING LEGEND

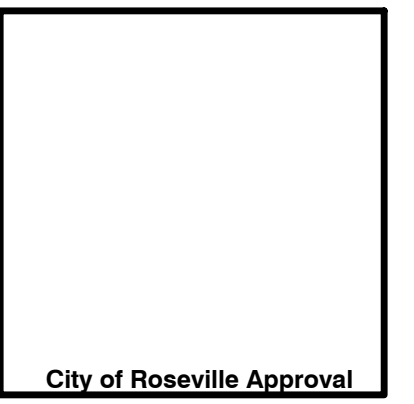
-  0.50 FT-CDL COVERAGE AREA
-  0.50 FT-CDL CONTOUR
-  EXISTING
-  PROPOSED
- PARKING LOT LIGHTING**
KIM LIGHTING VL SERIES VLA20W6 750W HPS 480V FIXTURES ON A 30 POLE WITH A 2 FOOT CONCRETE BASE. CUT OFF SHIELD WILL BE UTILIZED AS REQUIRED TO PREVENT SPILL OVER LIGHTING.

KIM LIGHTING - CURVLINER VL SERIES LIGHT FIXTURES





CITY APPROVAL STAMP



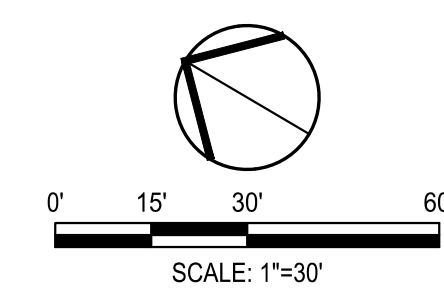
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PARKING GARAGE 12
EXPANSION

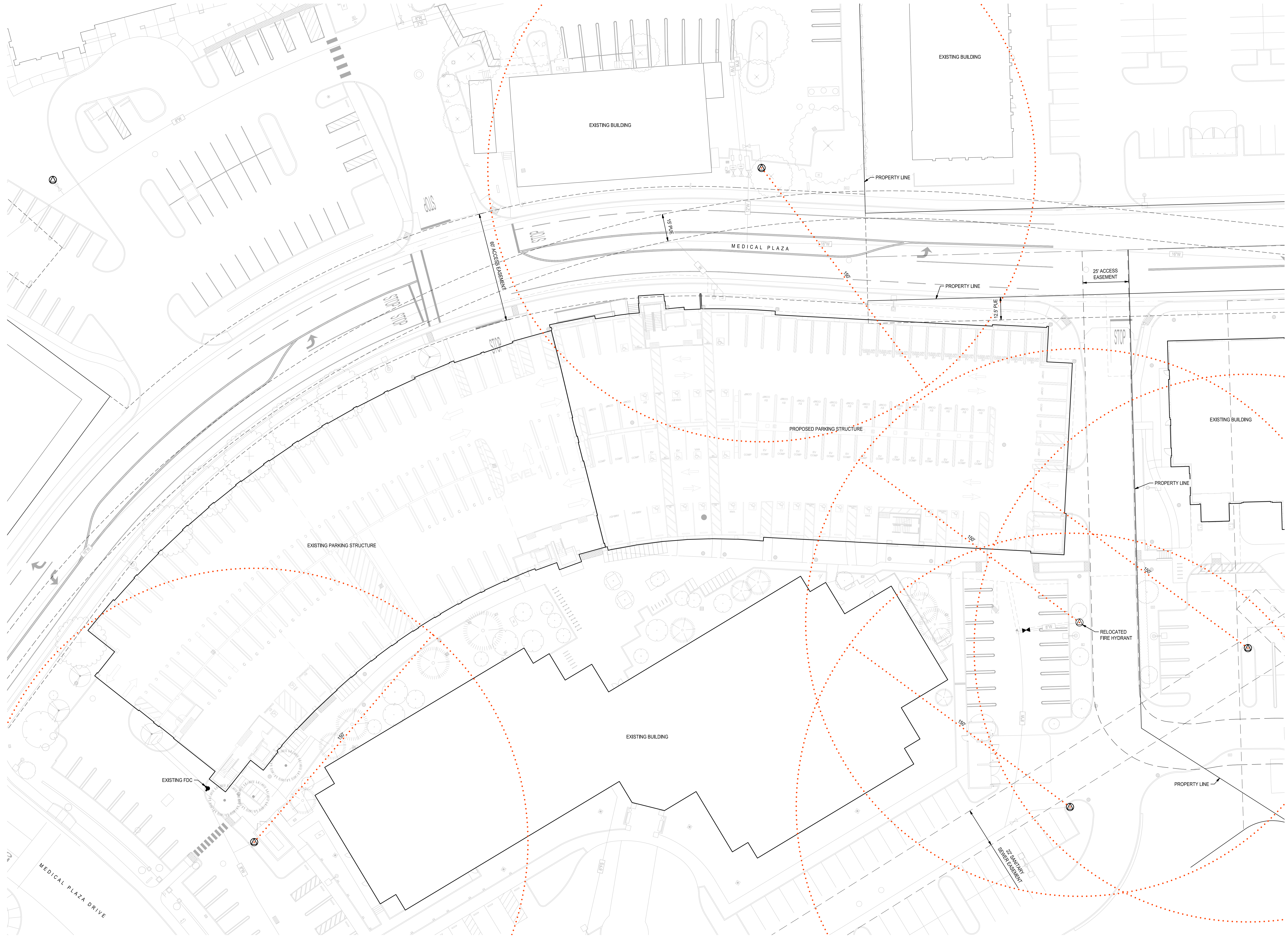
12 MEDICAL PLAZA
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UTILITY EASEMENT EXHIBIT

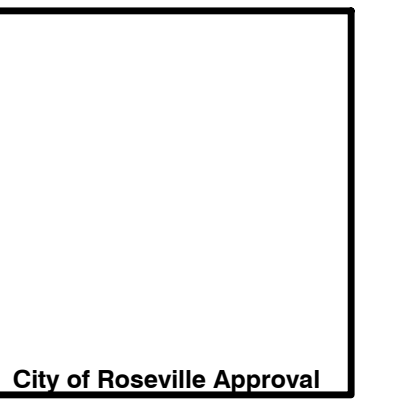


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CG5.03



CITY APPROVAL STAMP



City of Roseville Approval

THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT/ENGINEER

REVISION BY DATE

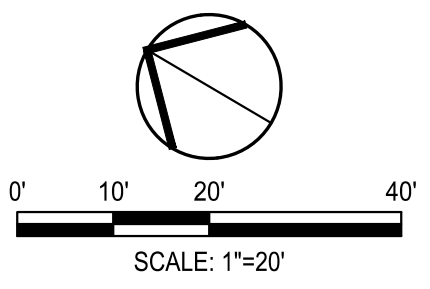
SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

FIRE PROTECTION PLAN

LEGEND
▲ EXISTING FIRE DEPARTMENT CONNECTION

⊙ EXISTING FIRE HYDRANT WITH 150' HOSE SWEEP



C1009.00
AS SHOWN
3/28/2022

CG6.01

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EROSION CONTROL PLAN
SCALE: 1" = 30'

EROSION CONTROL GENERAL NOTES:

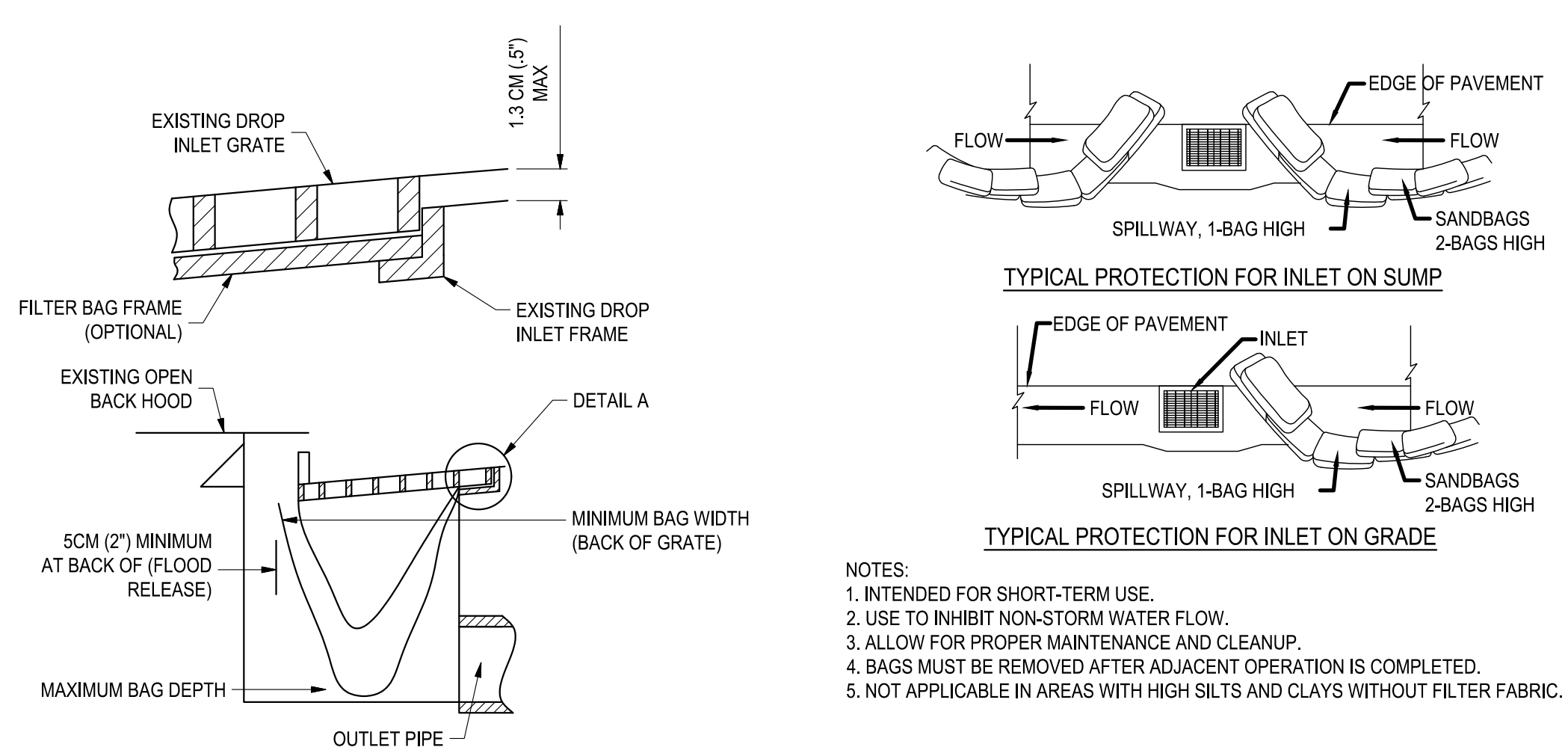
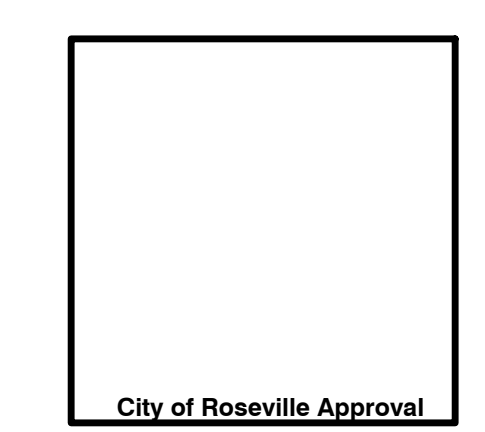
- PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW ALL OFFSETS. THE SITE IS DYNAMIC AND CHANGES ON A DAILY BASIS. CHANGES SHOULD BE MADE ACCORDING TO EXISTING CONDITIONS, BECAUSE IT IS IMPOSSIBLE TO PREDICT ALL POSSIBLE SITUATIONS. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES TO ENSURE QUALITY CONTROL.
- THE CONTRACTOR SHALL REVIEW THE CURRENT STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY FOR CONDUCTING HISHER OPERATIONS IN ADHERENCE TO THE SWPPP. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES, DELAYS, AND/OR DAMAGES RESULTING FROM ANY STATE WATER QUALITY CONTROL BOARD SANCTIONS CAUSED BY THE OPERATION OF THE CONTRACTOR OF HISHER SUBCONTRACTORS.
- THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY. THE CONTRACTOR SHALL FOLLOW THESE PLANS UNLESS FIELD CONDITIONS DICTATE MODIFICATION. IF MODIFICATION IS NECESSARY, A SWPPP AMENDMENT MUST BE DONE. THIS MAY REQUIRE MODIFICATION TO THESE DRAWINGS AND ENGINEER CONCURRENCE.
- INSPECT AND REPAIR FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE. SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM PAVEMENT OF ROAD.
- UNFINISHED AND DISTURBED AREAS ARE TO BE PROTECTED WITH AN APPLICATION OF BLOWN STRAW AND ORGANIC BINDER.

ITEM	LB/ACRE
STRAW	4,000
ORGANIC BINDER	200
- ALTERNATE INLET PROTECTION SHALL BE USED ON ROADS OPEN TO THE PUBLIC IF ANY HAZARDOUS MATERIALS OR WASTES WHICH HAVE BEEN TREATED, STORED, DISPOSED, SPILLED, OR LEAKED IN SIGNIFICANT QUANTITIES ONTO THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THEM FROM THE SITE AND DISPOSE OF PROPERLY.
- CHLORINATED OR DECHLORINATED WATER SHALL NOT BE DISCHARGED INTO THE STORM DRAIN SYSTEM. THE CONTRACTOR MAY DISPOSE THIS WATER INTO THE SANITARY SEWER SYSTEM UPON APPROVAL BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL KEEP MAINTENANCE, INSPECTION, AND REPAIR PROCEDURES TO ENSURE THAT ALL GRADED SURFACES, WALLS, BERMS, DRAINAGE STRUCTURES, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER CONTROLS ARE MAINTAINED IN GOOD AND EFFECTIVE CONDITION AND ARE PROMPTLY REPAIRED OR RESTORED WHEN NECESSARY. ANY DEWATERING WATER SHALL NOT BE DISCHARGED DIRECTLY INTO THE STORM WATER SYSTEM, AND SHALL NOT BE DISCHARGED INTO THE SEWER SYSTEM.
- ALL DEWATERING WATER MUST BE CHANNLED THROUGH AN APPROVED SEDIMENT BARRIER PRIOR TO THE WATER ENTERING THE STORM SYSTEM.
- PAVEMENT CLEANING- FLUSHING OF STREETS/ PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. PREFERABLY, AREAS REQUIRING CLEANING SHOULD BE SWEEP.
- ALL STOCKPILES OF MATERIALS THAT ARE NOT GOING TO BE USED FOR 14 DAYS SHALL BE COVERED.
- CONTRACTOR TO USE BEST MANAGEMENT PRACTICES (BMPs) THROUGHOUT CONSTRUCTION. USE ALL BMPs THAT APPLY TO THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING BMPs:
 - DRAIN INLET PROTECTION - CALIFORNIA STORMWATER BMP HANDBOOK SECTION SE-10
 - SOLID WASTE MANAGEMENT - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-5
 - MATERIAL STORAGE - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-1
 - PAVING - CALIFORNIA STORMWATER BMP HANDBOOK SECTION NS-3
 - DUST CONTROL, SEDIMENT CONTROL, EROSION CONTROL AND CONCRETE WASHOUT AREAS - SHOWN ON THIS SHEET WITH DETAILS

EROSION CONTROL LEGEND:

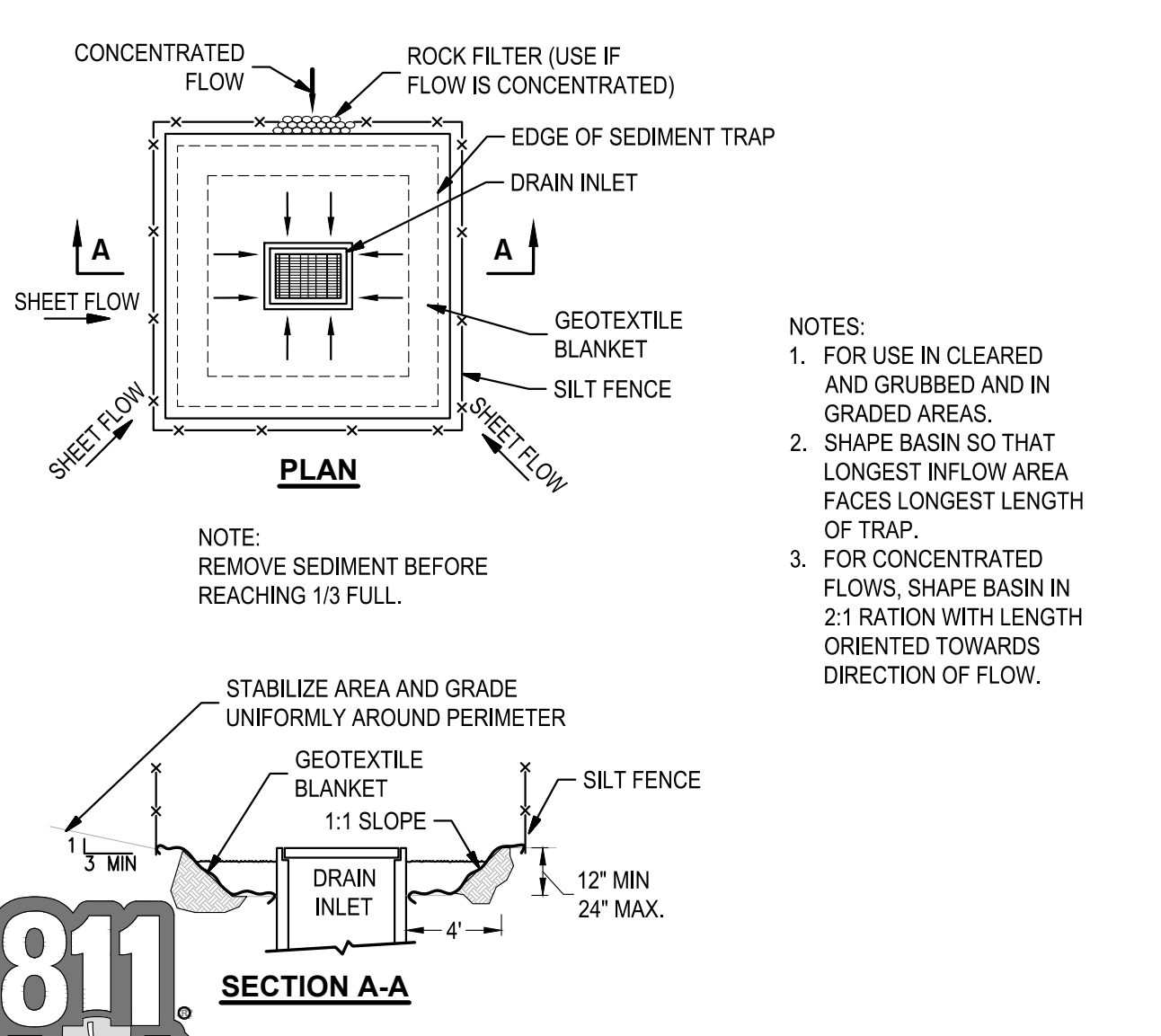
SYMBOL	DESCRIPTION
	FIBER ROLLED WATTLE, SEE DETAIL THIS SHEET
	CONSTRUCTION FENCE
	SILT FENCE, SEE DETAIL THIS SHEET
	DRAIN INLET PROTECTION, SEE DETAIL THIS SHEET
	STABILIZED CONSTRUCTION ENTRANCE/EXIT, SEE DETAIL THIS SHEET
	CONCRETE WASHOUT, CONTRACTOR TO DETERMINE LOCATION, SEE DETAIL THIS SHEET
	FLOW DIRECTION (EXISTING)
	FLOW DIRECTION (PROPOSED)
	GRAVEL BAGS

CITY APPROVAL STAMP

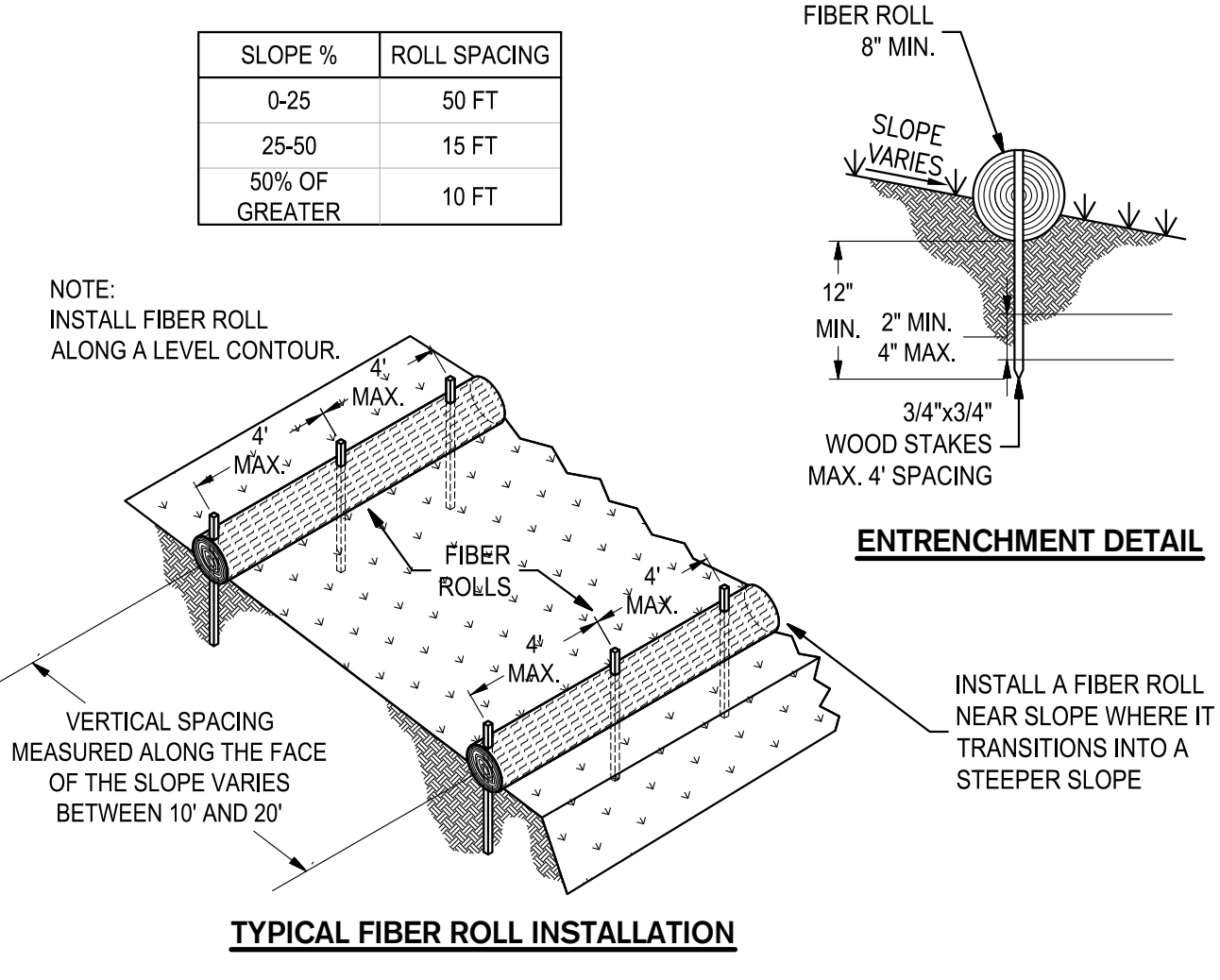


- NOTES:
- INTENDED FOR SHORT-TERM USE.
 - USE TO INHIBIT NON-STORM WATER FLOW.
 - ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
 - BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
 - NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

5 CATCH BASIN FILTER BAGS & PROTECTION
NO SCALE

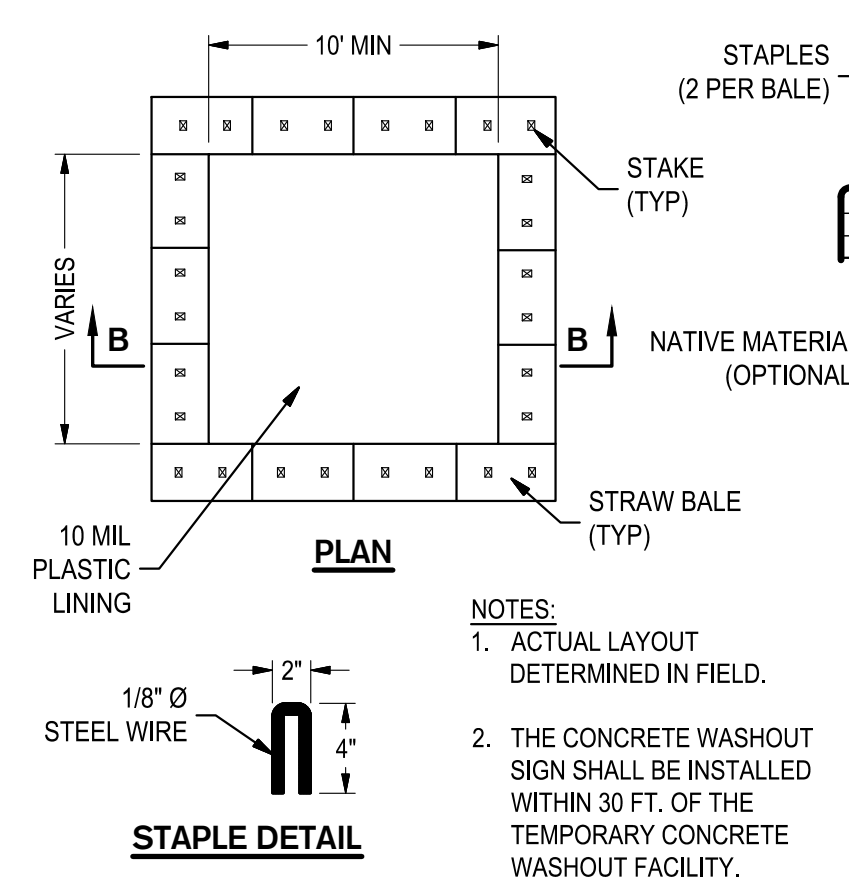


- NOTES:
- FOR USE IN CLEARED AND GRUBBED AND IN GRADED AREAS.
 - SHAPE BASIN SO THAT LONGEST INFLOW AREA FACES LONGEST LENGTH OF TRAP.
 - FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATION WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.

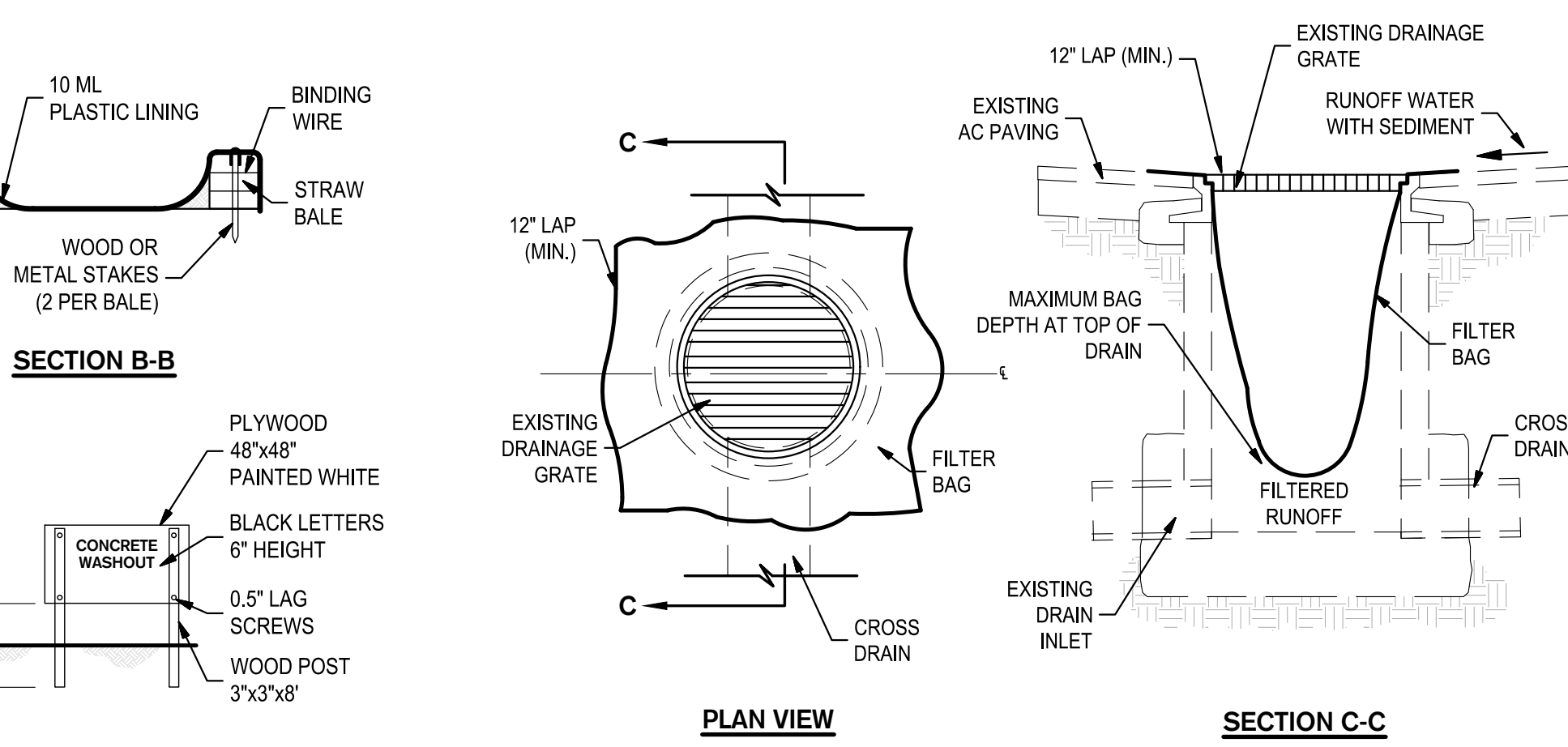


SLOPE %	ROLL SPACING
0-25	50 FT
25-50	15 FT
50% OF GREATER	10 FT

2 FIBER ROLLS
SCALE: NTS



3 CONCRETE WASHOUT
SCALE: NTS



4 TEMPORARY GRAVEL BAG FILTER AT DROP INLET
SCALE: NTS

- NOTES:
- THE MAXIMUM DRAINAGE AREA PER FILTER SHALL BE NO MORE THAN .06 HECTARES (2 ACRES).
 - THE FILTER BAG SHALL BE MANUFACTURED FROM UV RESISTANT POLYPROPYLENE NYLON, POLYESTER, OR ETHYLENE FABRIC WITH A MINIMUM TENSILE STRENGTH OF 50 LBS PER LINEAL FOOT. AN EQUIVALENT OPENING SIZE NOT GREATER THAN A 20 SIEVE AND WITH A MINIMUM FLOW RATE OF 40 GALLONS/SQFT.
 - THE FILTER BAG MAY BE SUSPENDED FROM OR HELD IN PLACE BY EXISTING INLET GRATE (OR OTHER APPROVED METHOD), PROVIDING NO MODIFICATION OR DRAINAGE SHALL BE DONE TO THE INLET GRATE OR FRAME. THE INLET GRATE SHALL NOT BE CAUSED TO REST MORE THAN 1.3CM (.5") ABOVE THE INLET FRAME (SEE DETAIL A).
 - THE FILTER BAG MAY EXTEND TO THE BOTTOM OF THE INLET BOX PROVIDED THE OUTLET PIPE IS UNOBSTRUCTED.
 - FLOWS SHALL NOT BE ALLOWED TO BYPASS THE BAG. THE BAG OR ITS FRAME SHALL CATCH FLOWS AT ALL SIDES OF THE INLET EXCEPT AS SHOWN FOR FLOOD RELEASE.
 - INLET FILTER BAGS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL DURING THE WET SEASON AND MONTHLY DURING THE DRY SEASON. SEDIMENT AND DEBRIS SHALL BE REMOVED BEFORE ACCUMULATIONS HAVE REACHED ONE THIRD THE DEPTH OF THE BAG. BAGS SHALL BE REPAIRED OR REPLACED AS SOON AS DAMAGE OCCURS.

**SUTTER HEALTH
PARKING GARAGE 12
EXPANSION**

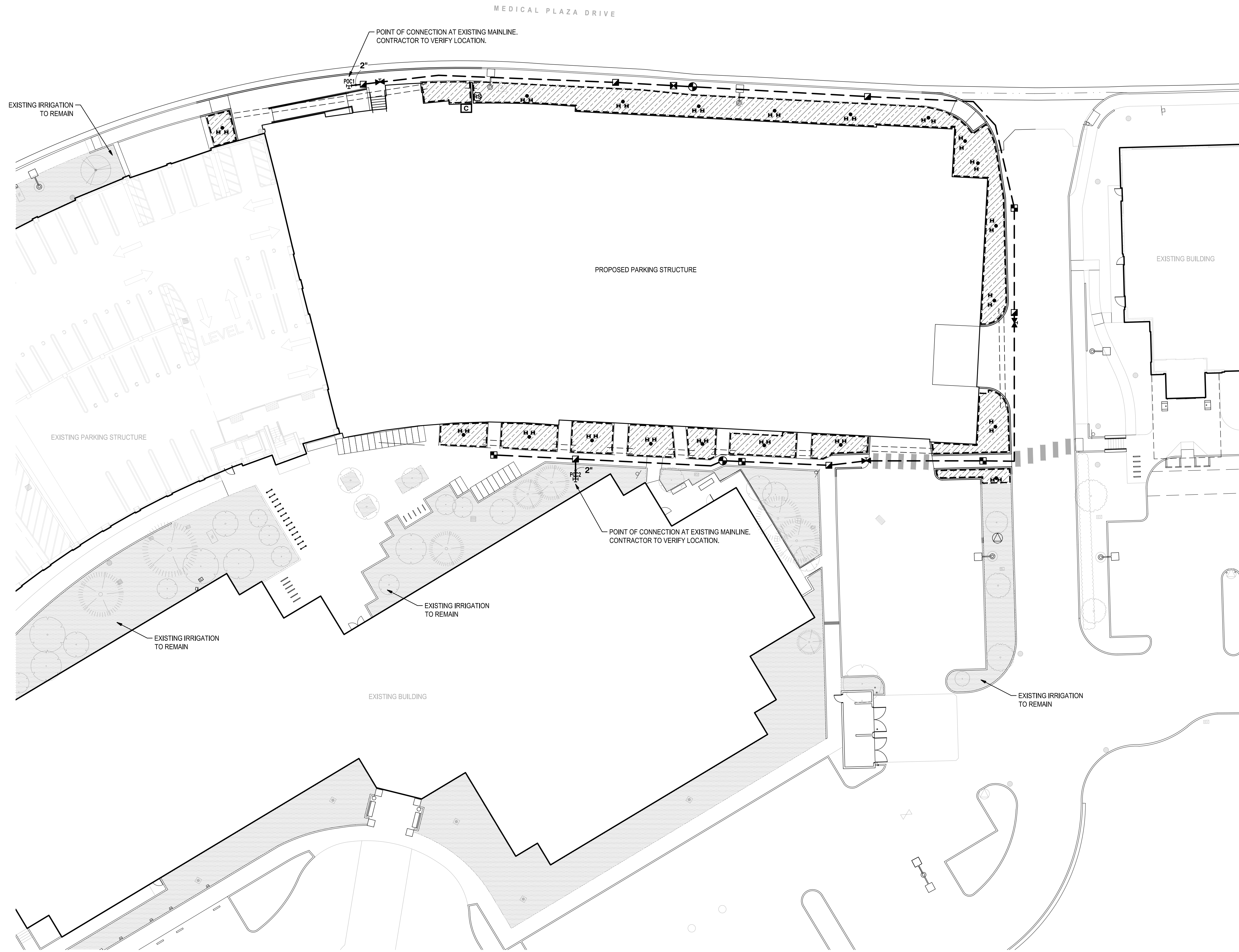
12 MEDICAL PLAZA
ROSEVILLE, CA 95661

EROSION CONTROL PLAN

C1009.00
AS SHOWN
3/28/2022

CG7.01

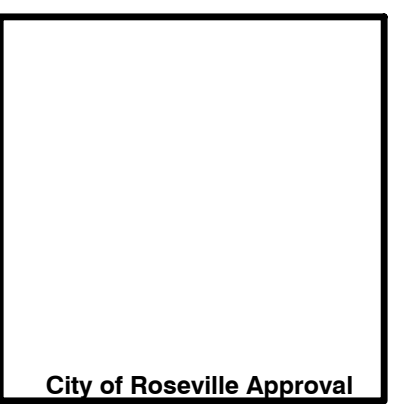




IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	EXISTING IRRIGATION Existing landscape areas that are altered or modified by the new project. Existing irrigation system and stationing to remain. Modifications to be made by Contractor to existing system, mainline, laterals and heads in existing landscape areas affected by construction.
	SHRUB DRIFLINE 0.9 GPH @ 12" O.C. Dripline with 0.90 gph emitters at 12" O.C., row spacing at 12" O.C.
	MANUFACTURER/MODEL/DESCRIPTION Rain Bird RW5-B-C-SOCK Root Watering System with 4" diameter x 36" long with locking grate, semi-rigid mesh tube, 1402 at 0.5 GPM, 2 per tree, typical.
	MANUFACTURER/MODEL/DESCRIPTION Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications, 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter, 0.3 GPM-20 GPM
	MANUFACTURER/MODEL/DESCRIPTION Rain Bird XCZ-150-PRB-COM High Flow Control Zone Kit, for Large Commercial Drip Zones, 1-1/2" PESB Valve with two 1" Pressure Regulating 40psi Quick-Check Basket Filters, Flow range: 15-40 GPM.
	Rain Bird ARW050 1/2" Air Relief Valve.
	Rain Bird OPERIND Drip System Operation Indicator, Place within 8' of valve.
	MANUFACTURER/MODEL/DESCRIPTION Rain Bird PESB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.
	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"
	Rain Bird ESPLXME with (01) ESPLXMSM 12 Station Commercial Controller. Locked, metal enclosure.
	Rain Bird WR2-RFS Wireless Rain/Freeze Sensor.
	Point of Connection Point of connection at existing Class 315 2" Mainline.
	Point of Connection Point of connection at existing Class 315 2" Mainline.
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Class 315 SDR 13.5 (2")
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe, Min. size 2x diameter of pipe being sleeved, Extend sleeves 24" beyond edges of paving or construction.
	Valve Callout Value Number Value Flow Value Size
	TREE LOCATION (PROPOSED) Layout reference of proposed trees. See sheet LG2.01.

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REVISION BY DATE

**SUTTER HEALTH
PARKING GARAGE 12
EXPANSION**

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

IRRIGATION PLAN

GENERAL IRRIGATION NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND STANDARDS.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH. LANDSCAPE SUBCONTRACTOR SHALL GUARANTEE 100% COVERAGE OF SYSTEM.
- INSTALL NEW REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, EQUIPMENT, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, LAWN, ETC.
- ALL PVC SLEEVES UNDER PAVEMENT AND ROADWAYS TO BE SCH. 40. SLEEVES TO BE TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE THAT WILL PASS THROUGH SLEEVE. CHANGE ALL RING-TITE PIPE THAT WOULD PASS THROUGH SLEEVES TO CLASS 315 SOLVENT WELD PIPE OF SAME SIZE.
- THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT IDENTIFIED IN THE DRAWINGS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. OTHERWISE, THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.

IRRIGATION DESIGN SUMMARY

- NEW IRRIGATION SYSTEM SHALL TAP INTO EXISTING IRRIGATION MAINLINE.
- NEW PEDESTAL, WEATHER-BASED IRRIGATION CONTROLLER WITH RAIN SENSOR.
- IRRIGATION SHALL CONSIST OF DRIP FOR SHRUBS AND GROUNDCOVERS AND AN ISOLATED VALVE WITH DRIP BUBBLERS FOR TREES.

IRRIGATION SCHEDULING NOTE

- PROJECT INCLUDES A NEW IRRIGATION SYSTEM AND REQUIRES THE FOLLOWING MEASURES TO BE MET:
- IRRIGATION MUST BE SCHEDULED BETWEEN 8:00 P.M. AND 6:00 A.M. UNLESS WEATHER CONDITIONS PREVENT IT.
 - OPERATION OF THE IRRIGATION SYSTEM OUTSIDE THE NORMAL WATERING WINDOW IS ALLOWED FOR AUDITING AND SYSTEM MAINTENANCE.
 - TOTAL ANNUAL APPLIED WATER SHALL BE LESS THAN OR EQUAL TO MAXIMUM APPLIED WATER ALLOWANCE (MAWA) AS CALCULATED PER THE POTABLE WATER USE REDUCTION REQUIREMENTS.

EXISTING IRRIGATION NOTES

- EXISTING LAYOUT MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- MAINLINE AND LATERAL LAYOUT IS TO BE FIELD VERIFIED BY CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR MODIFICATIONS TO EXISTING IRRIGATION ADJACENT TO PROJECT AREA. CONTRACTOR TO REMOVE IRRIGATION SYSTEM AND VALVES WITHIN PROJECT AREA AND CAP MAINLINE SYSTEM ACCORDINGLY. EXISTING IRRIGATION TO BE MODIFIED TO MAINTAIN IRRIGATION TO EXISTING PLANT MATERIAL. CONTRACTOR TO COORDINATE EXISTING MAINLINE SYSTEM, SHUT-OFF AND CONTROLLER WITH OWNER.

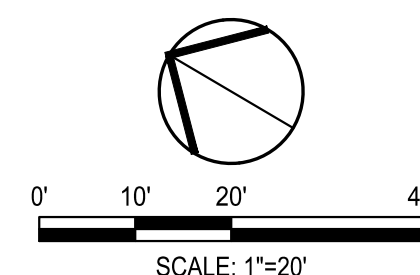
LANDSCAPE SUMMARY

TOTAL IRRIGATED AREA	4,644 SF
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	XXX GALLON/YR
ESTIMATED TOTAL WATER USE (ETWU)	XXX GALLON/YR

I SHALL COMPLY WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

Robert J. Norbutas

ROBERT J. NORBUTAS, JR., RLA 5595



C1009.00
AS SHOWN
3/28/2022

LG1.01



CONCEPTUAL PLANT LEGEND

Symbol	Description	Quantity	Water Use	Mature Size
Circle with dot	MEDIUM SHADE TREES 15 gallon trees. Low water use plants. Install medium sized trees in the street frontage areas. Drip bubbler irrigation.	5	WATER USE	MATURE SIZE
	Laurus nobilis / Sweet Bay	L		35H X 20W
	Pistacia chinensis 'Keith Dawey' / Chinese Pistache	M		30H X 25W
	Pyrus calleryana / Callery Pear	L		30H X 20W
	Quercus rubra / Red Oak	L		40H X 30W
	Robinia pseudoacacia 'Purple Robe' / Black Locust	L		30H X 20W
	Ulmus parvifolia / Lacebark Elm	M		40H X 30W
Starburst	NARROW SCREEN TREES 15 gallon trees. Low/medium water use trees. Perimeter areas requiring narrow, upright growth and screening. Drip bubbler irrigation.	7	WATER USE	MATURE SIZE
	Acer platanoides 'Columnare' / Norway Maple	M		40H X 15W
	Acer rubrum 'Armstrong' / Armstrong Red Maple	M		40H X 15W
	Alnus cordata / Italian Alder	M		40H X 20W
	Cedrus atlantica 'Fastigiata' / Columnar Atlas Cedar	M		40H X 15W
	Ginkgo biloba 'Autumn Gold' / Maidenhair Tree	M		40H X 20W
Small circle	ACCENT - SMALL TREES 15 gallon trees. Small space planting areas, entry and building accent. Spacing per plan. Drip bubbler irrigation.	8	WATER USE	MATURE SIZE
	Cercis occidentalis / Western Redbud	VL		20H X 15W
	Lagerstroemia x 'Tuscanora' / Crape Myrtle Coral Pink	L		20H X 15W
	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	M		15H X 10W
	Prunus cerasifera 'Atropurpurea' / Purple-leaf Plum	L		20H X 15W
Rectangular pattern	ENTRY AND ACCENT SHRUBS 5 gallon and 1 gallon shrubs. Install entry and accent (8'-4' high) in entry perimeter planter areas. Medium and small sized shrubs, groundcovers and grasses Drip Irrigation.	1,710 sf	WATER USE	MATURE SIZE
	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	M		1H X 5W
	Coleonema pulchrum 'Sunset Gold' / Golden Breath Of Heaven	M		2H X 4W
	Festuca amethystina 'Superba' / Rainbow Fescue	L		1H X 2W
	Festuca glauca 'Elijah Blue' / Elijah Blue Fescue	L		1.5H X 1W
	Guzmania rigida 'Leucoblasta' / Trailing Gazania	L		1H X 1W
	Hemerocallis x 'Sheila de Oro' / Sheila de Oro Daylily	M		1H X 1.5W
	Hesperaloe parviflora 'Perla' TM / Brakelights Red Yucca	L		2.5H X 4W
	Penstemon heterophyllus 'Marganta BOP' / Marganta BOP Penstemon	L		1H X 2W
	Phormium tenax 'Amazing Red' / Dwarf Red Flax	L		1.5H X 2W
	Phormium x 'Platt's Black' / Platt's Black New Zealand Flax	L		3H X 2W
	Salvia spathacea / Hummingbird Sage	L		2H X 4W
Rectangular pattern	INTERIOR SITE SHRUBS AND GROUNDCOVERS 5 gallon and 1 gallon shrubs. Install interior shrubs (8'-4' high) in interior planter areas. Medium and small sized shrubs, groundcovers and grasses. Drip Irrigation.	1,453 sf	WATER USE	MATURE SIZE
	Baccharis pilularis / Coyote Brush	L		2H X 7W
	Ceanothus griseus 'horizontalis' 'Yankee Point' / Yankee Point Carmel Creeper	L		2H X 7W
	Coleonema pulchrum 'Sunset Gold' / Golden Breath Of Heaven	M		2H X 4W
	Dietsia vegeta / African Iris	L		3H X 3W
	Erigeron karwinskianus 'Profusion' / Profusion Santa Barbara Daisy	L		1H X 3W
	Lantana montevidensis / Trailing Lantana	L		1.5H X 3W
	Leymus condensatus 'Canyon Prince' / Canyon Prince Giant Wild Rye	L		2H X 3W
	Lomandra longifolia 'Platinum Beauty' / Platinum Beauty Dwarf Mat Rush	L		2H X 3W
	Lopopetalum chinense rubrum 'Ruby' / Ruby Fringe Flower	M		3H X 4W
	Mahonia aquifolium 'Compact' / Compact Oregon Grape	M		2.5H X 3W
	Muhlenbergia capillaris 'Lencia' TM / Regal Mist Pink Muhly Grass	L		4H X 4W
	Myoporum parvifolium / Trailing Myoporum	L		.5H X 1H
	Nandina domestica / Heavenly Bamboo	L		4H X 3W
	Osteospermum fruticosum 'African Queen' / Trailing African Daisy	L		1H X 1W
	Salvia greggii / Autumn Sage	L		2H X 2W
	Xylosma congestum 'Compacta' / Compact Xylosma	L		6H X 5W
Rectangular pattern	STREETSCAPE SHRUBS AND GROUNDCOVERS 1 and 5 gallon shrubs. Drought tolerant, low water-use plants. Install streetscape shrubs (8'-4' high) in streetscape planter areas, in curb planter strips and at back of walk. Drip irrigation.	1,656 sf	WATER USE	MATURE SIZE
	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	M		1H X 5W
	Baccharis pilularis 'Pigeon Point' / Pigeon Point Coyote Brush	L		2H X 7W
	Barberis aquifolium 'Compacta' / Compact Oregon Grape Holly	L		2H X 3W
	Ceanothus griseus 'horizontalis' 'Yankee Point' / Yankee Point Carmel Creeper	L		2H X 7W
	Erigeron karwinskianus 'Profusion' / Profusion Santa Barbara Daisy	L		1H X 3W
	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	L		1H X 6W
	Penstemon orientalis 'Kerley Rose' / Kerley Rose Fountain Grass	L		3H X 3W
	Rhaphtolepis indica 'Ballena' / Ballena Indian Hawthorn	M		3H X 4W
Diagonal lines	BARK MULCH Natural chip bark mulch. 3" thick layer minimum. Landscape planting areas within the project site to receive chip bark mulch.			
Diagonal lines	EXISTING LANDSCAPE Existing planting to remain and be protected during construction.			
Circle with dot	EXISTING TREES TO REMAIN			

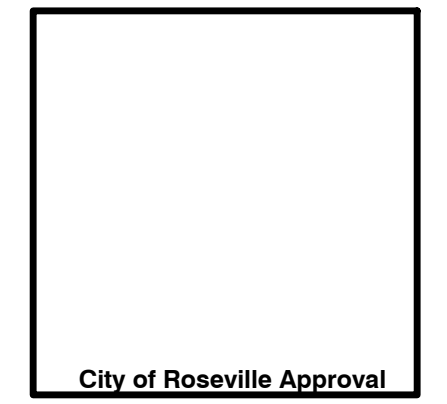
GENERAL PLANTING NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS AND CODES.
2. ALL ASPHALT, BASE COURSE AND OTHER DEBRIS ARE TO BE REMOVED COMPLETELY BELOW PLANTING AREAS TO NATIVE SOIL LEVEL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE AT 2% MINIMUM IN PLANTING AREAS EXCEPT WHERE SHOWN.
4. THE CONTRACTOR SHALL FURNISH AND APPLY THE APPROPRIATE PRE-EMERGENT HERBICIDE AT RATES PRESCRIBED BY LAW AND THE MANUFACTURER'S RECOMMENDATIONS. ALL PRE-EMERGENT HERBICIDES SHALL BE APPLIED BY LICENSED OPERATORS UNDER FAVORABLE WEATHER CONDITIONS.
5. THE CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING A SOILS TEST AND PROVIDING THE APPROPRIATE AMENDMENTS BASED ON THE TEST RESULTS.
6. FINISH GRADE OF PLANTED AREAS TO BE ONE (1) INCH BELOW PAVING. WATER SOIL THOROUGHLY BEFORE PLANTING. ALL PLANTS SHALL BE SET AT SUCH A LEVEL THAT AFTER SETTLING THEY BEAR THE SAME RELATIONSHIP TO THE SURROUNDING FINISH GRADE AS THEY BORE TO THE SOIL LINE GRADE IN THE CONTAINER, UNLESS OTHERWISE NOTED.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE DRAINAGE OF ALL PLANTINGS, SUFFICIENT TO INSURE HEALTHY GROWTH.

TREE NOTES

1. EXISTING TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. CARE SHOULD BE TAKEN WHEN GRADING OCCURS WITHIN THE DRIPLINE OF THE TREE.
2. CONTRACTOR TO NOTIFY OWNER IMMEDIATELY IF ANY DISCREPANCIES OR QUESTIONS REGARDING TREE PROTECTION OCCUR AT TIME CONSTRUCTION.
3. ALL WORK WITHIN THE EXISTING TREE ROOT ZONES SHALL BE DONE USING ALL POSSIBLE CARE TO AVOID INJURY TO ROOTS.
4. NO ROOTS LARGER THAN 2" SHALL BE CUT WITHOUT APPROVAL. CONTACT LANDSCAPE ARCHITECT IF PLANT MATERIAL PLACEMENT IS IN CONFLICT WITH EXISTING ROOTS.
5. ROOT BARRIER, 10 LINEAL FEET CENTERED ON TREES, TO BE INSTALLED WHEN TREE IS WITHIN 5' OF SIDEWALKS, ROADWAYS, BUILDING OR CURBS.

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REVISION BY DATE

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

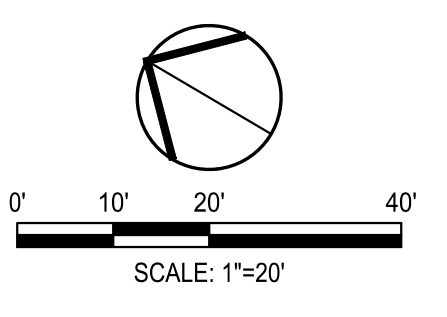
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ROSEVILLE, CA 95661

PLANTING PLAN

LANDSCAPE SUMMARY	
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ESTIMATED TOTAL WATER USE (ETWU)	XXX GALLON/YR

I SHALL COMPLY WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

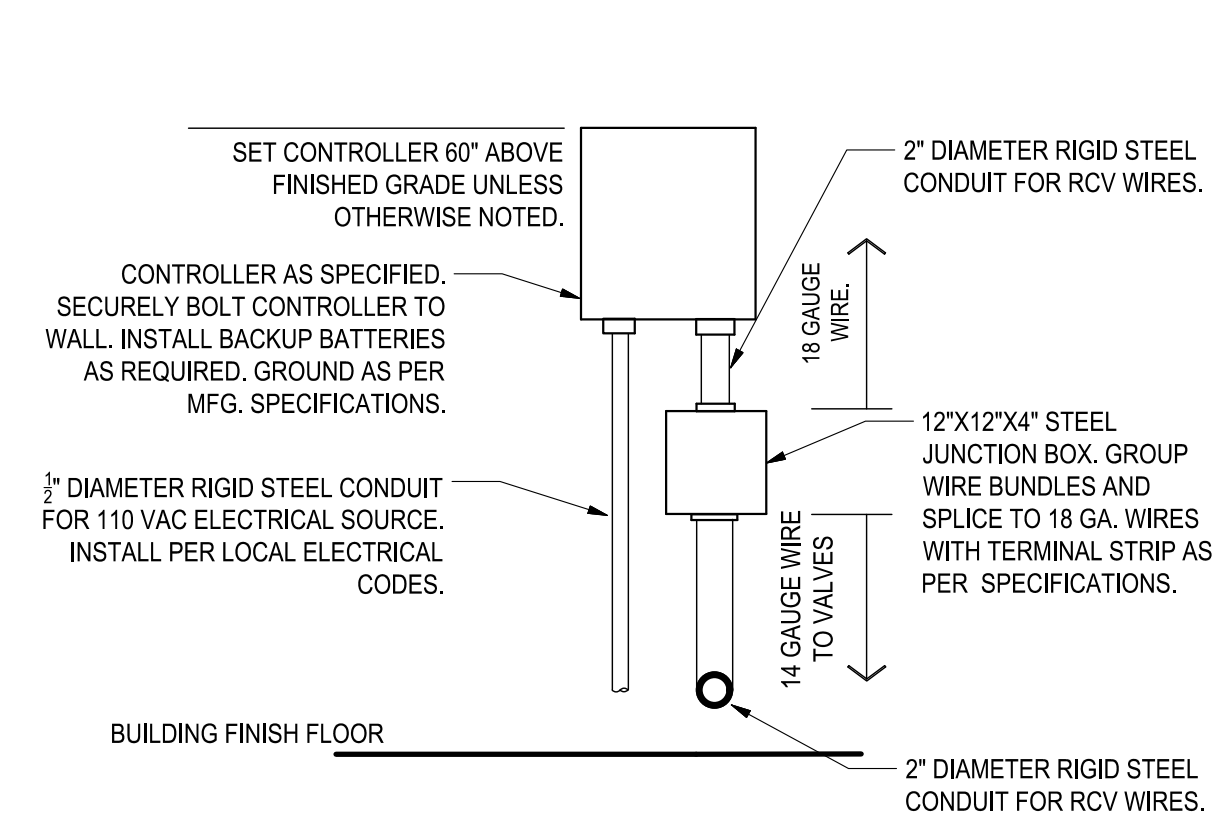
ROBERT J. NORBUTAS, JR., RLA 5595



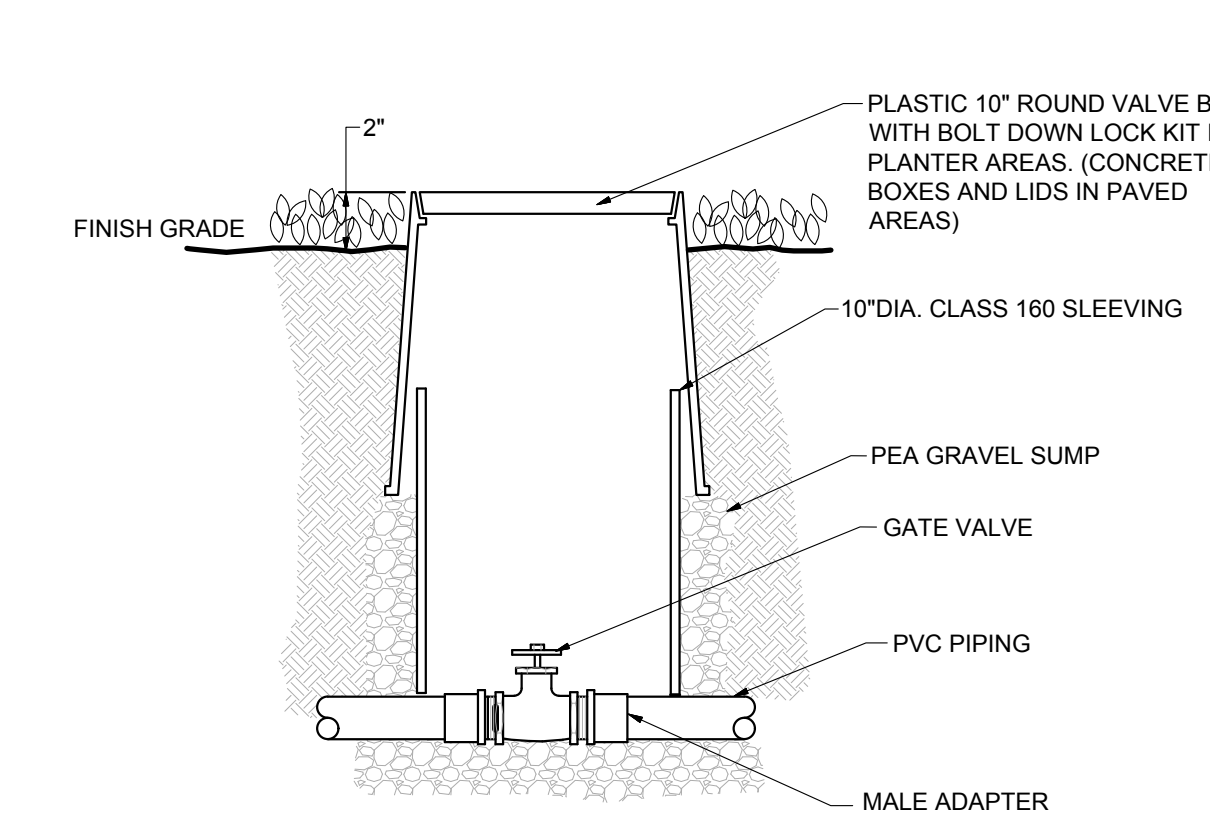
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AS SHOWN
3/28/2022

LG2.01

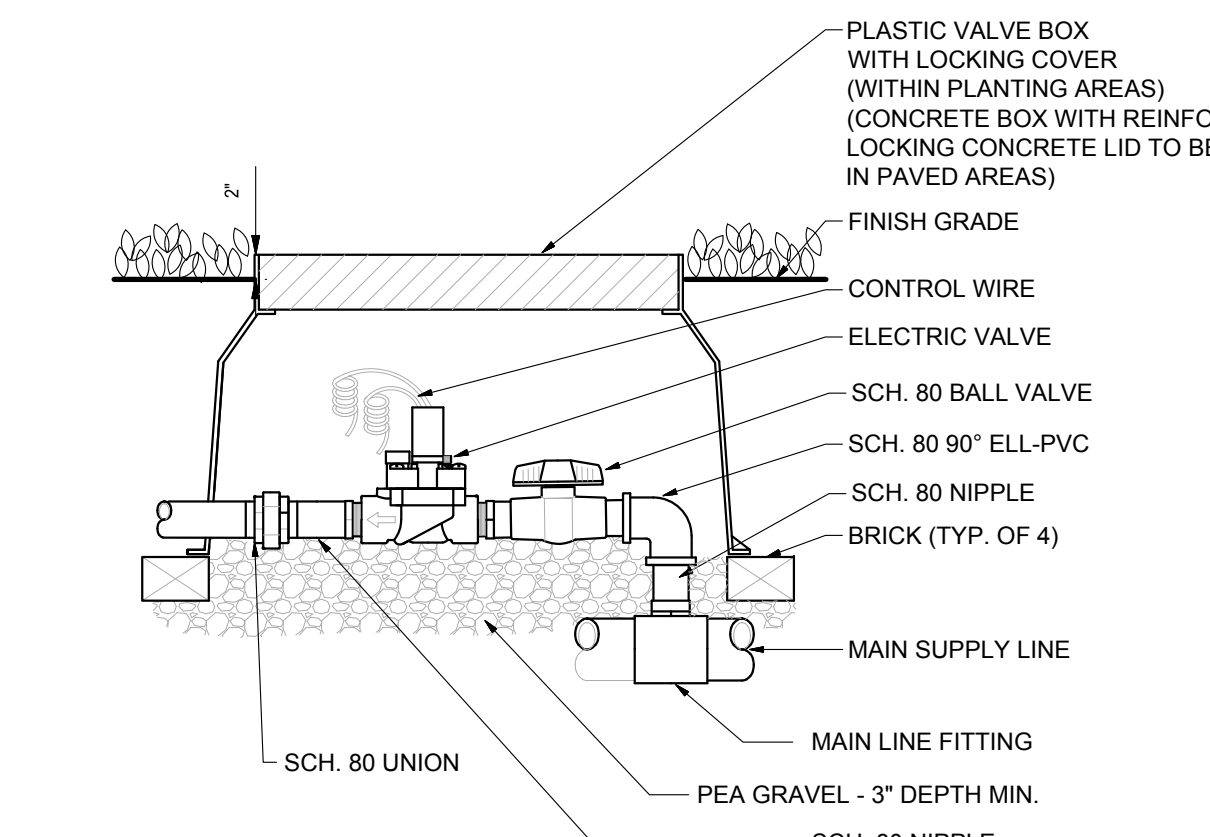




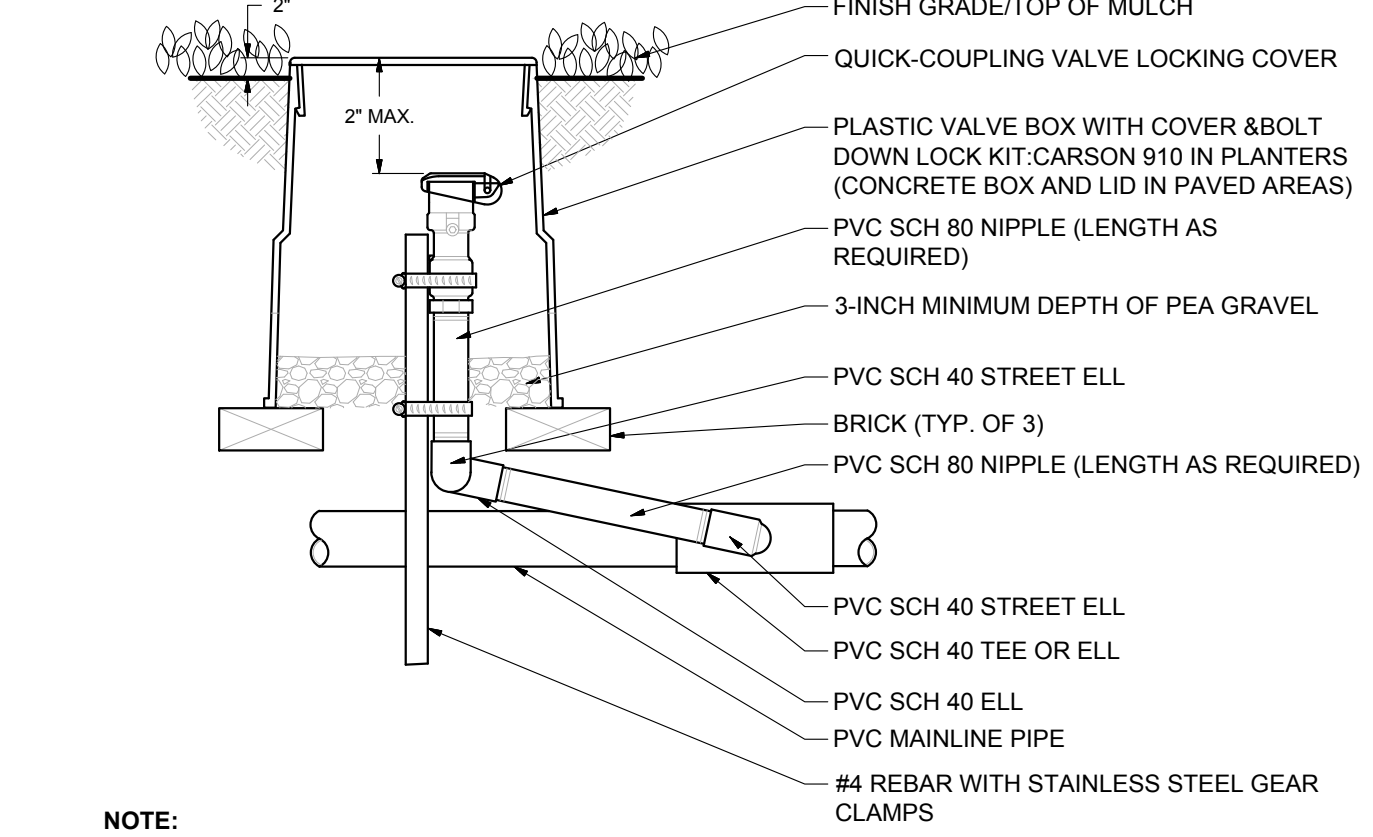
1 WALL-MOUNTED CONTROLLER
NO SCALE



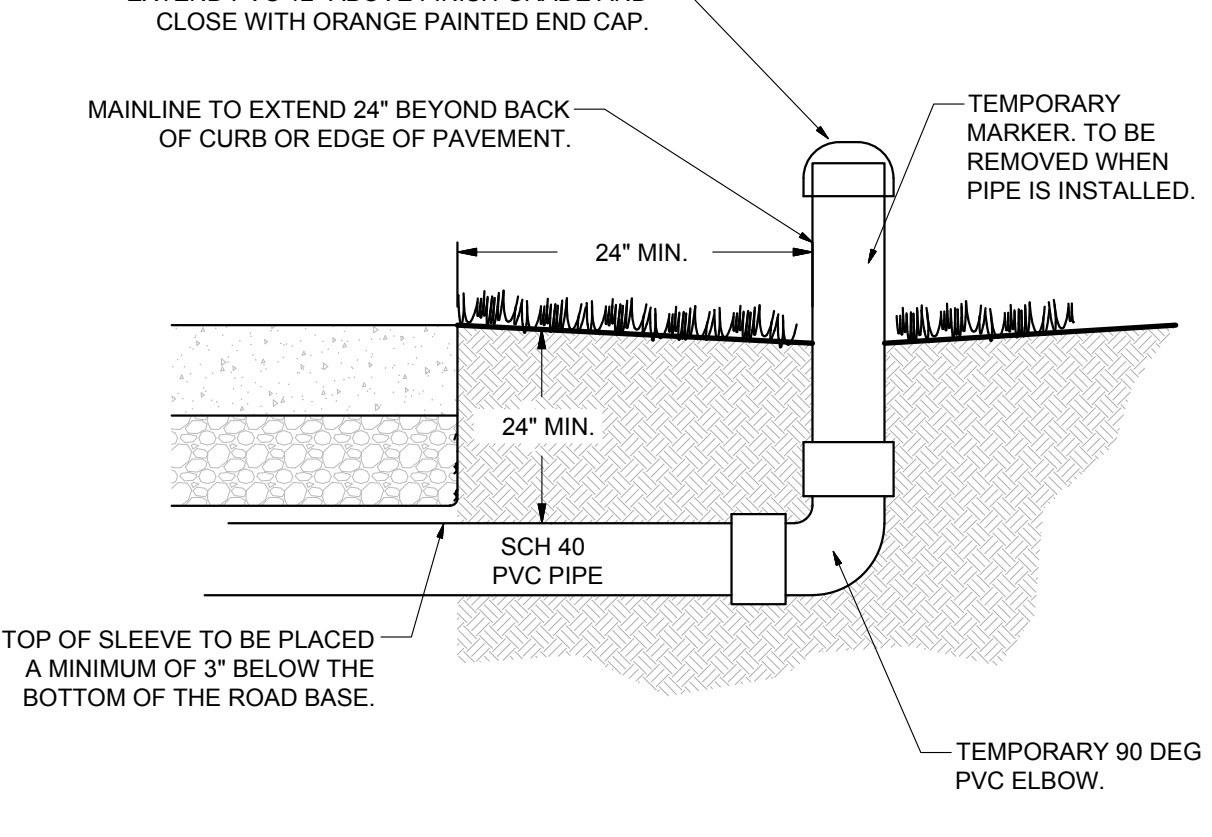
2 GATE VALVE
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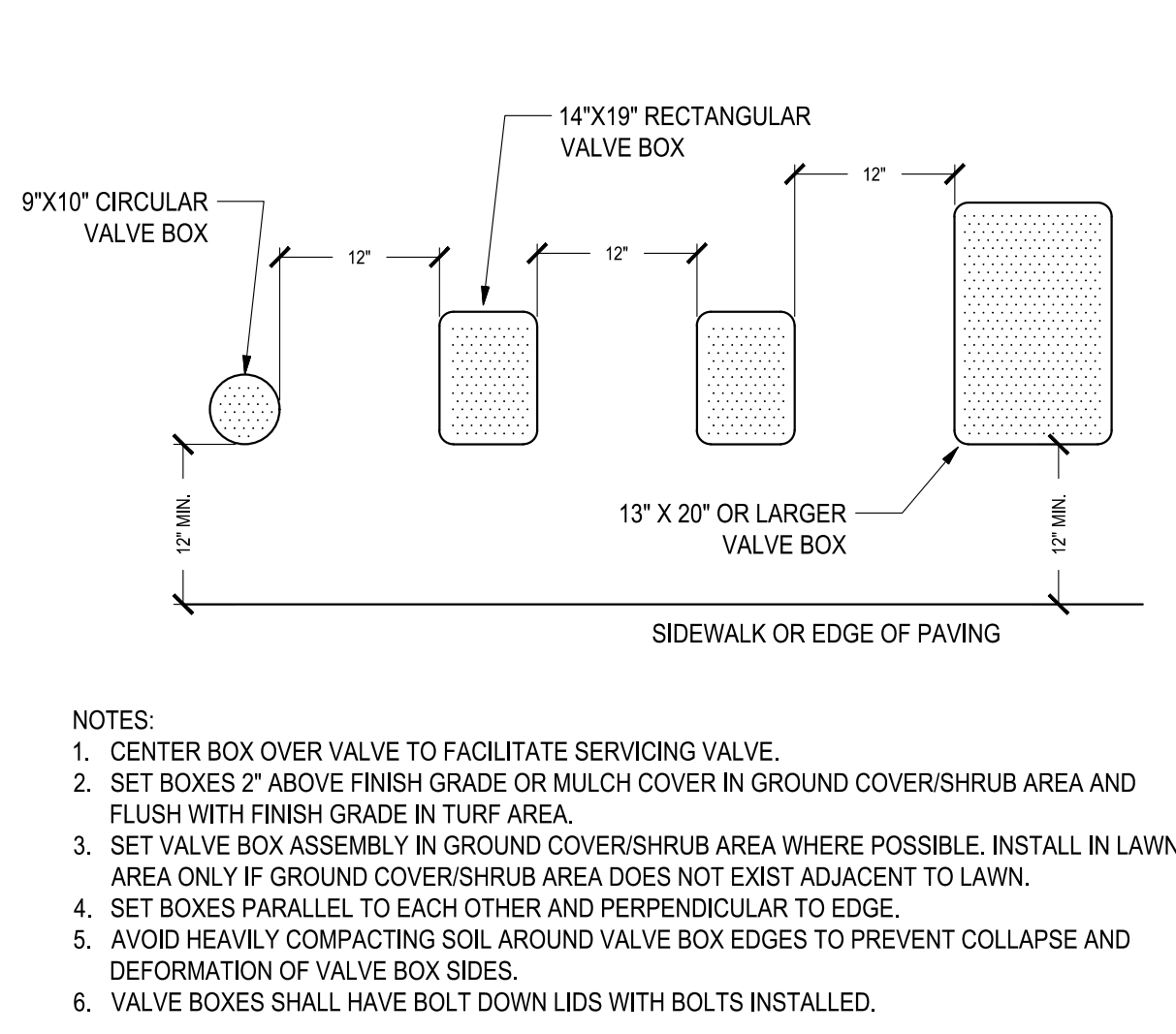
3 REMOTE CONTROL VALVE
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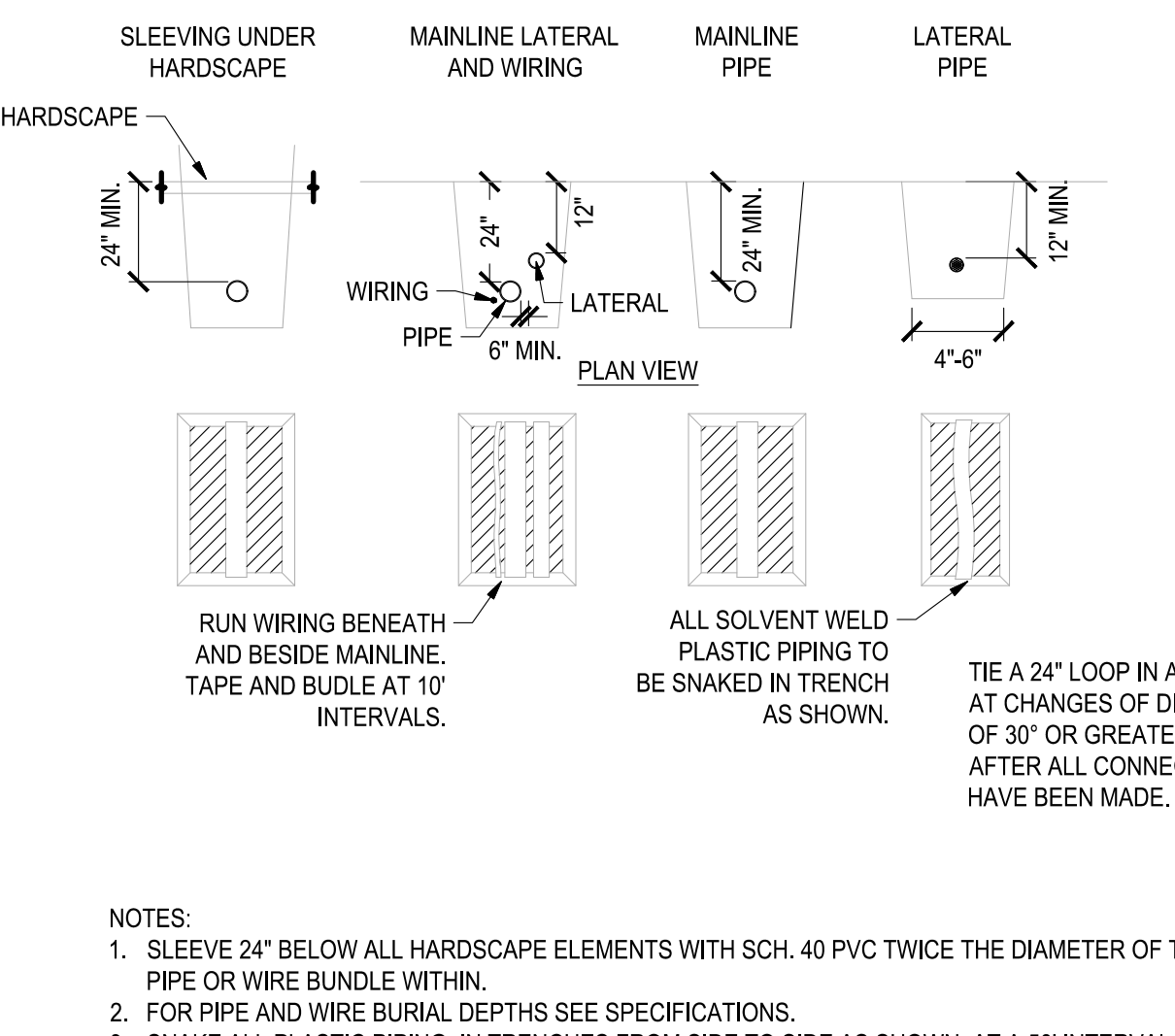
4 QUICK COUPLER
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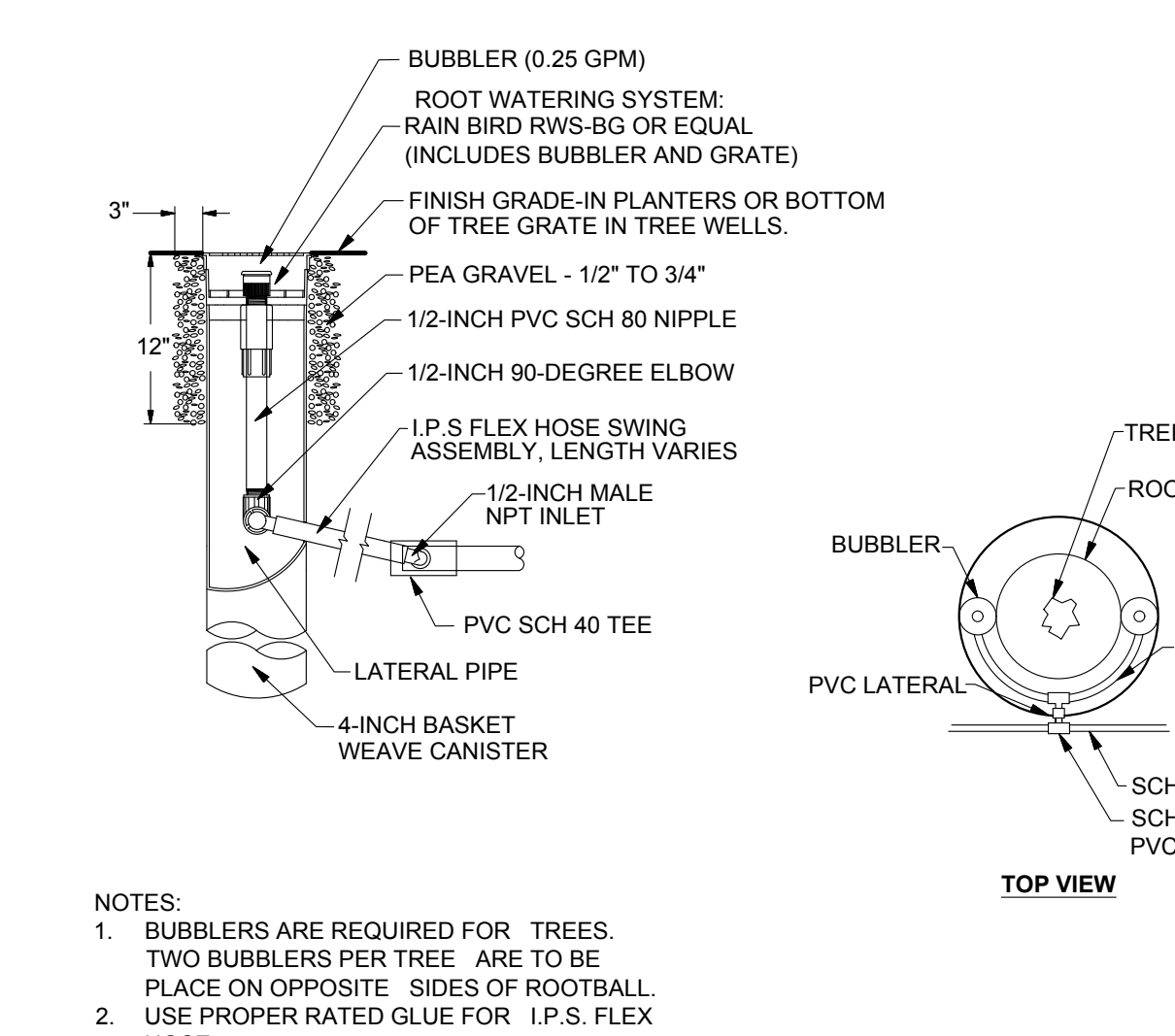
5 PIPE SLEEVE WITH 90 ELBOW
NO SCALE



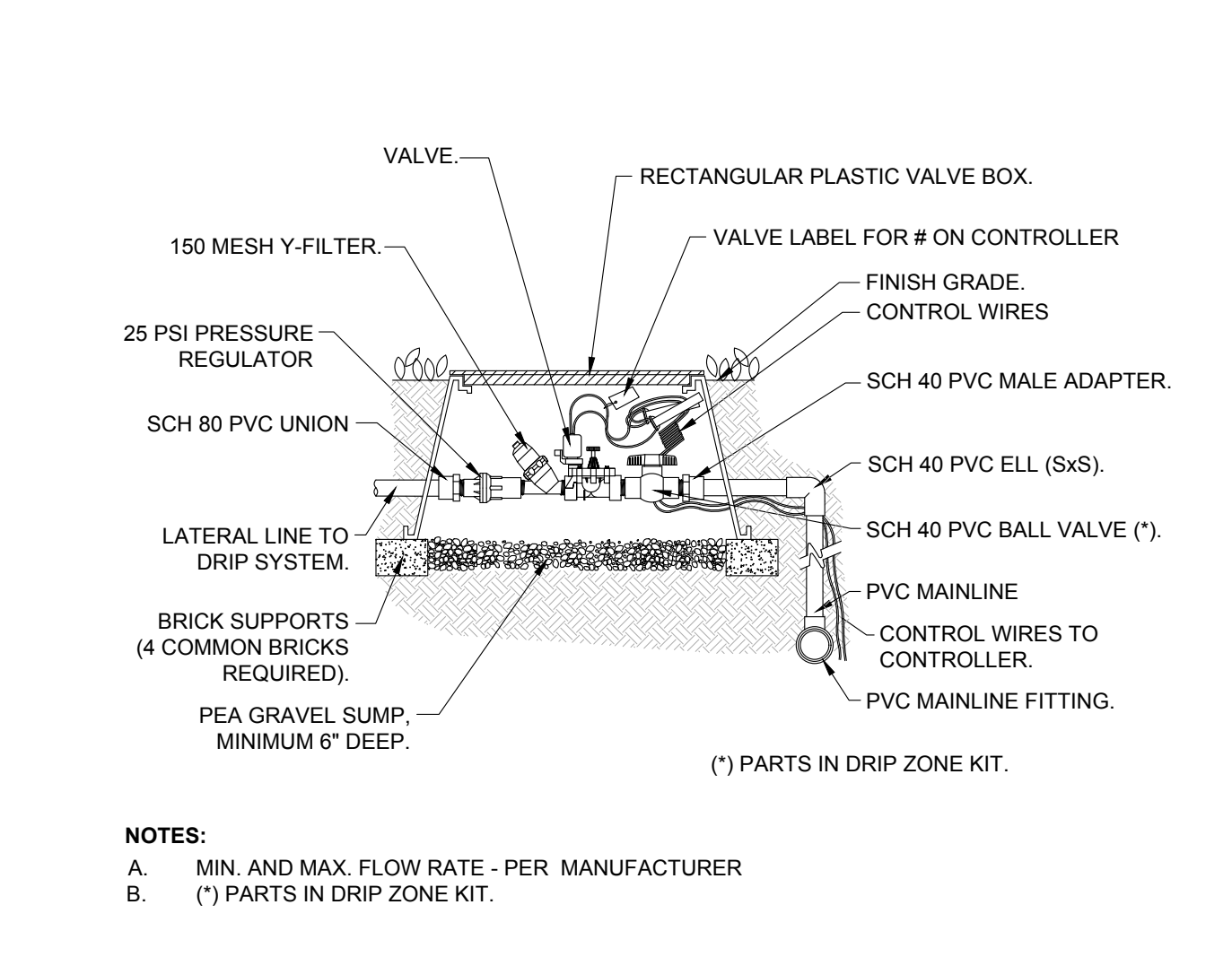
6 VALVE BOX
NO SCALE



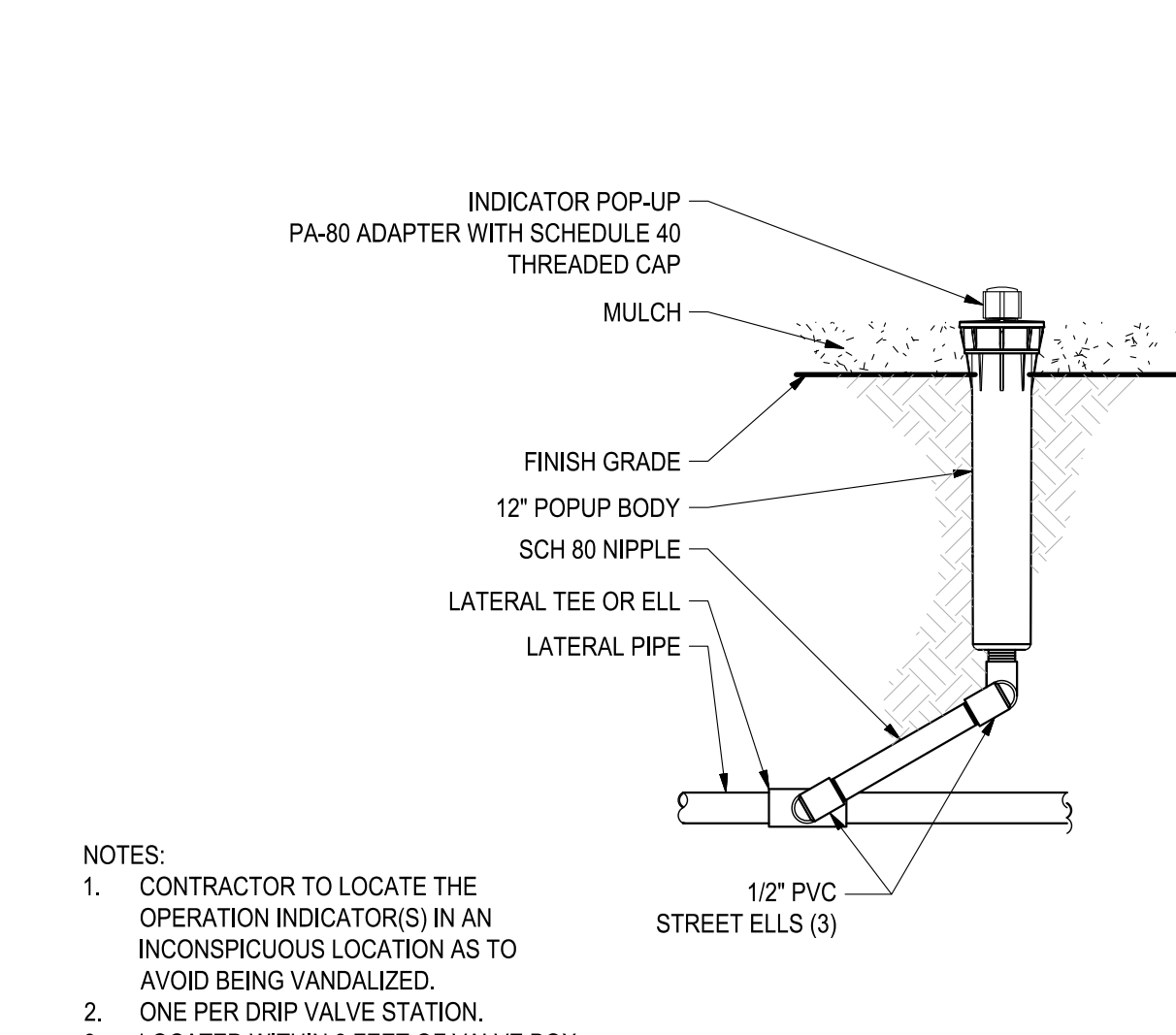
7 PIPE AND WIRE TRENCHING
NO SCALE



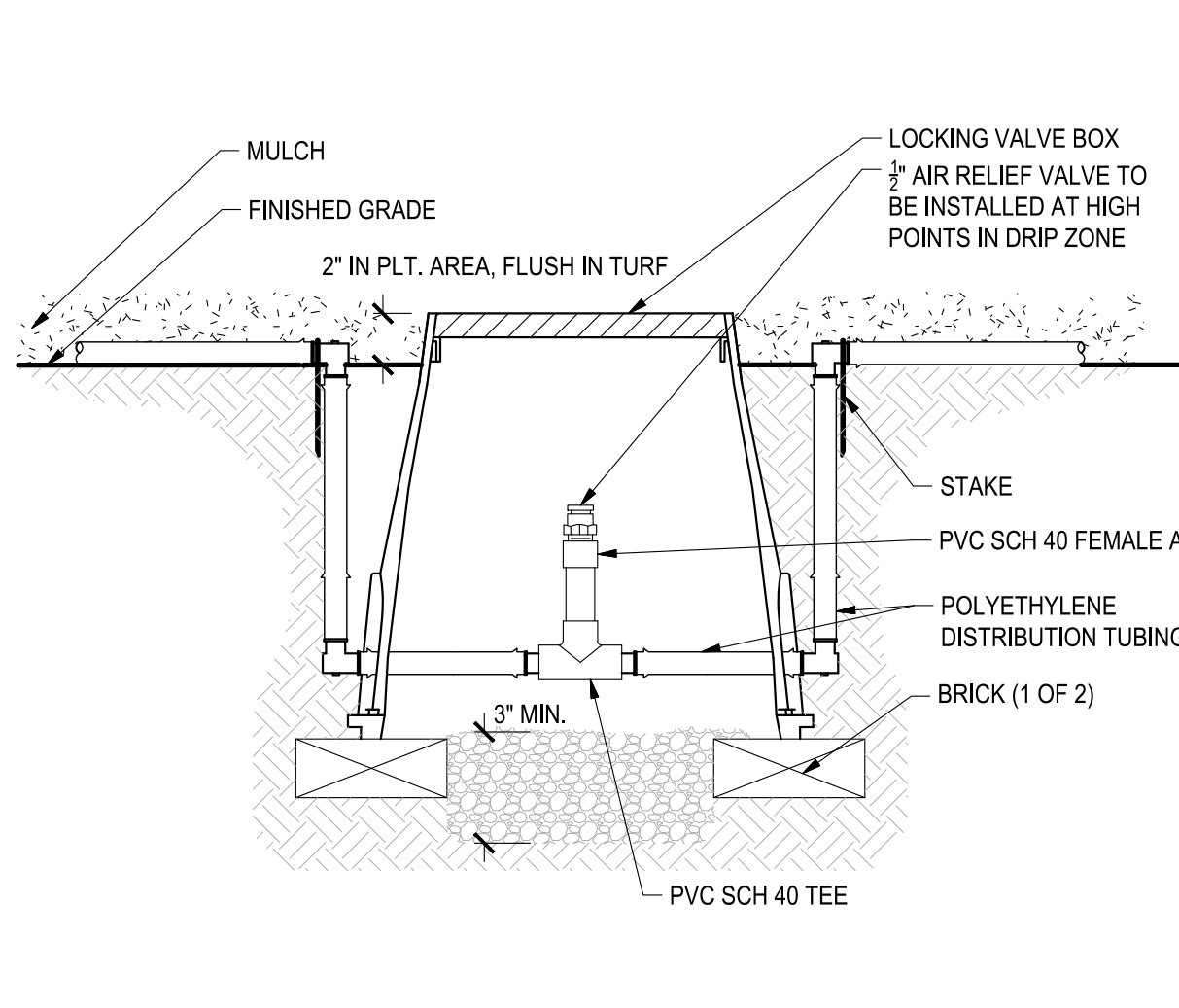
8 DEEP ROOT WATERING SYSTEM
NO SCALE



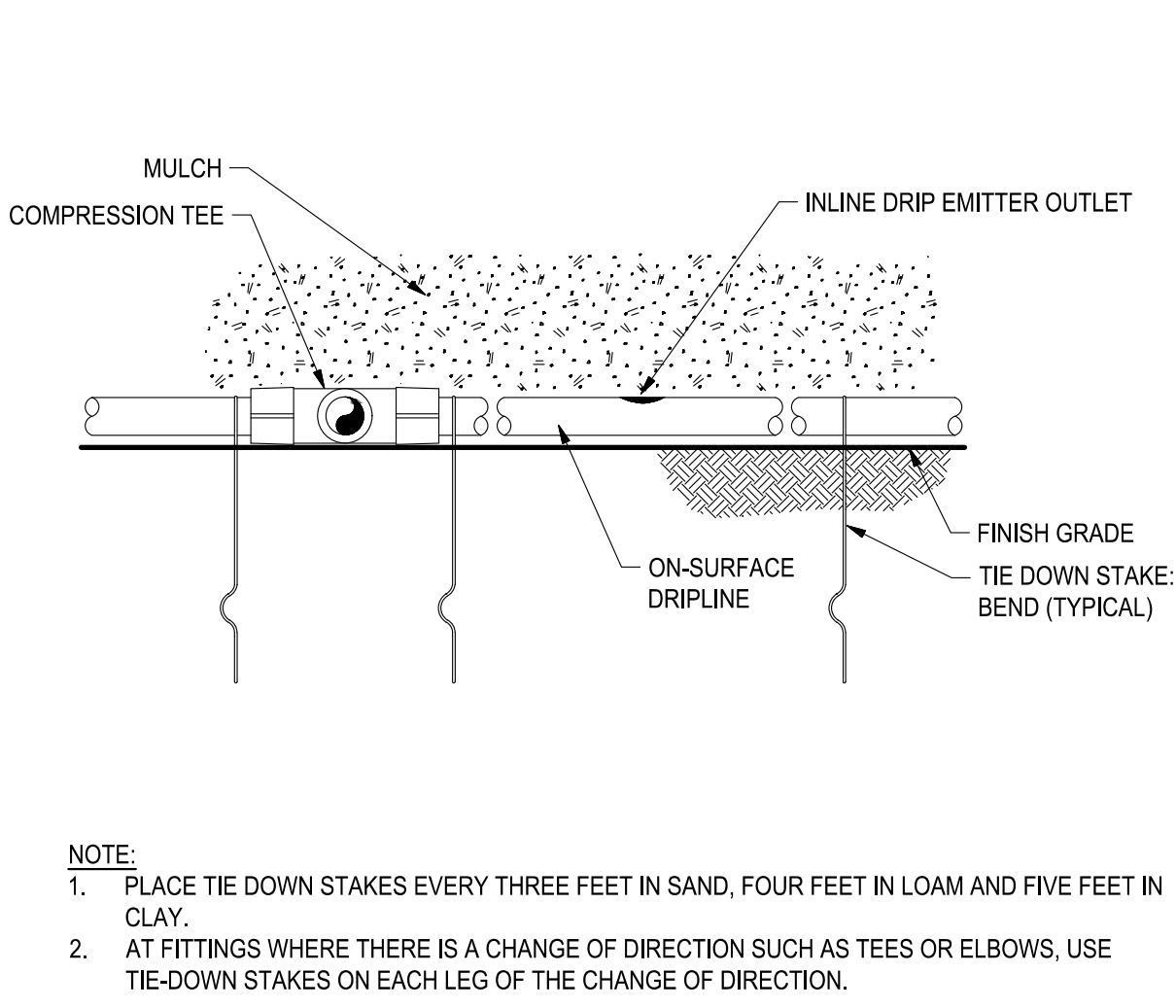
9 REMOTE CONTROL VALVE-DRIP
NO SCALE



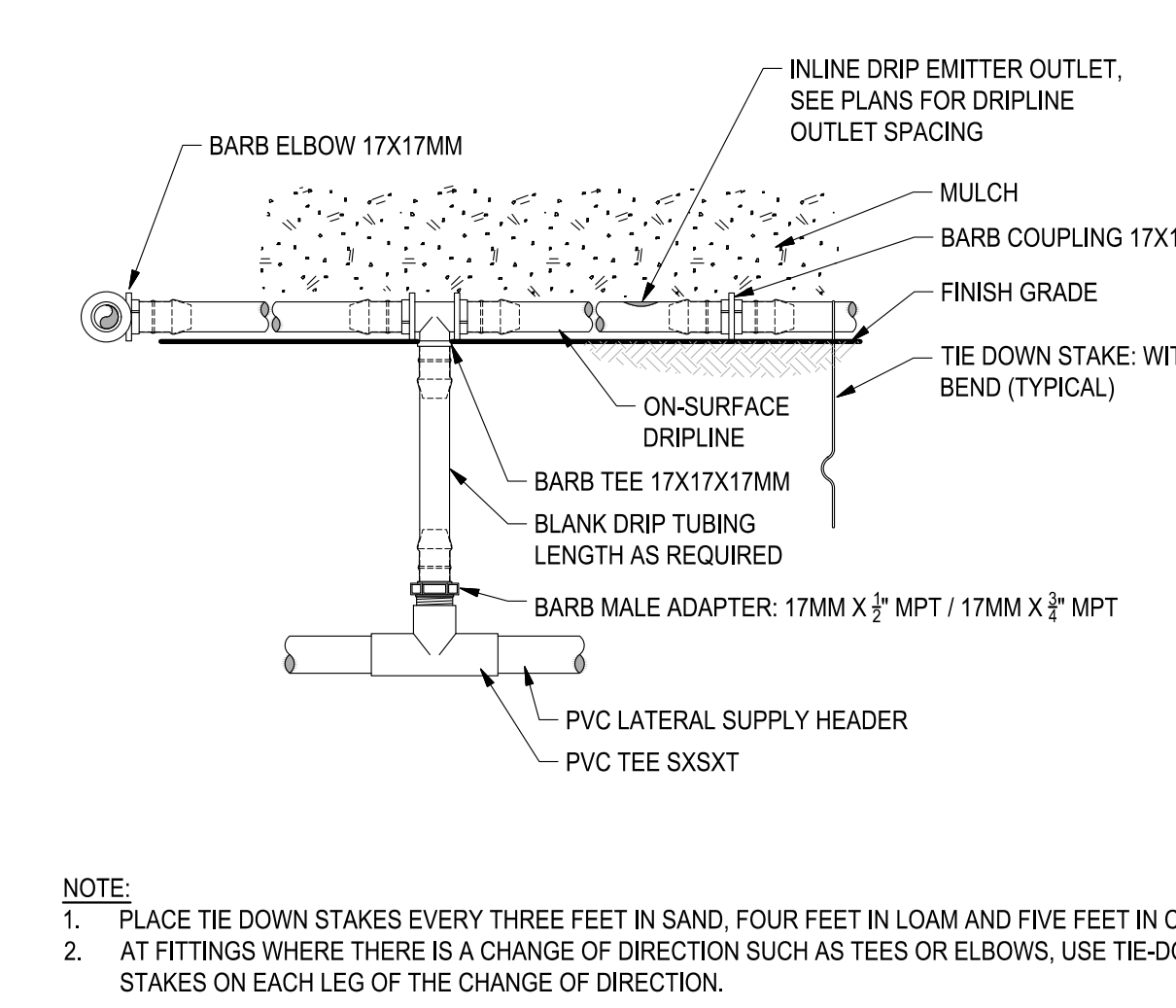
10 DRIP SYSTEM OPERATION INDICATOR
NO SCALE



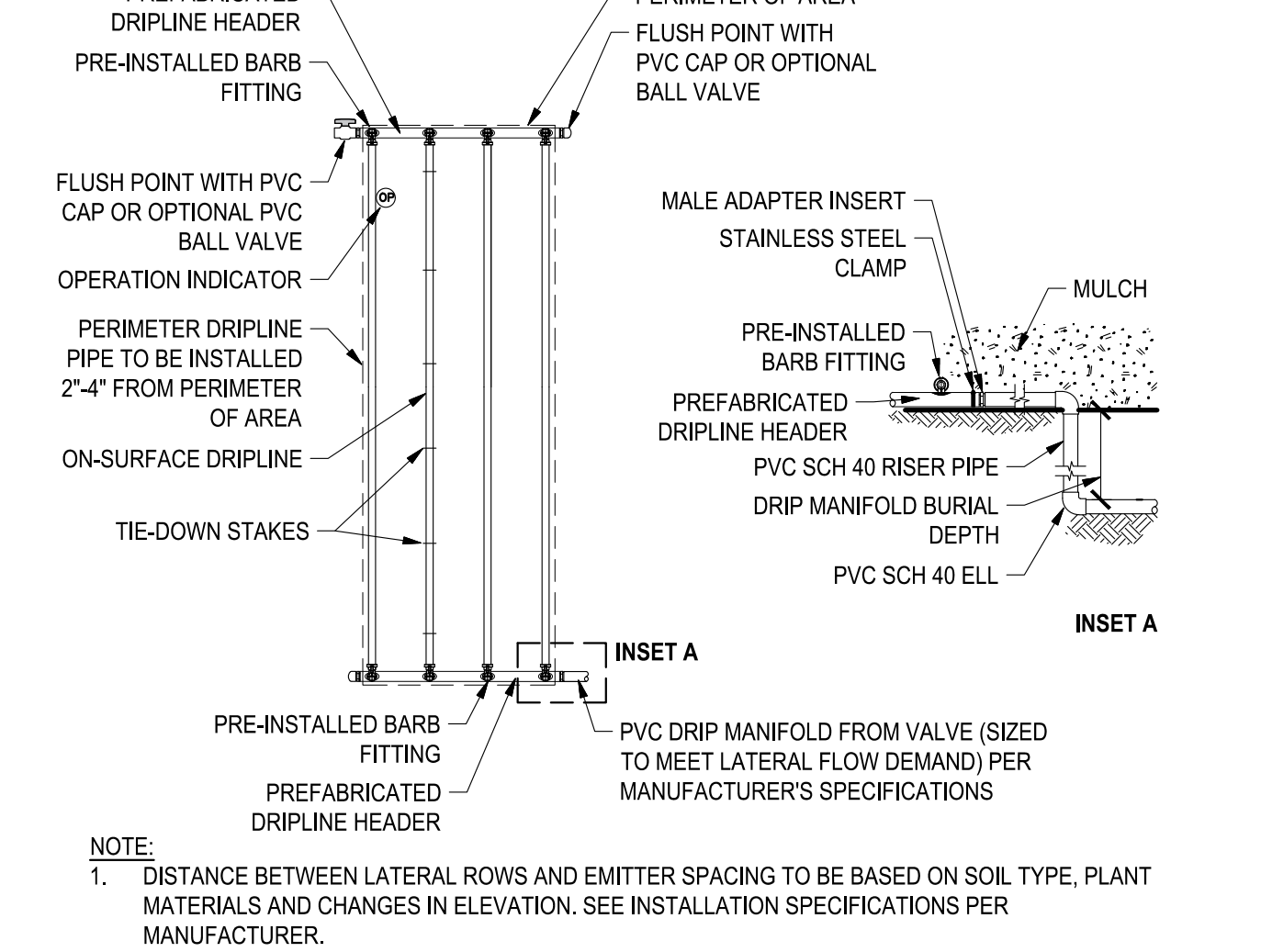
11 AIR RELIEF VALVE
NO SCALE



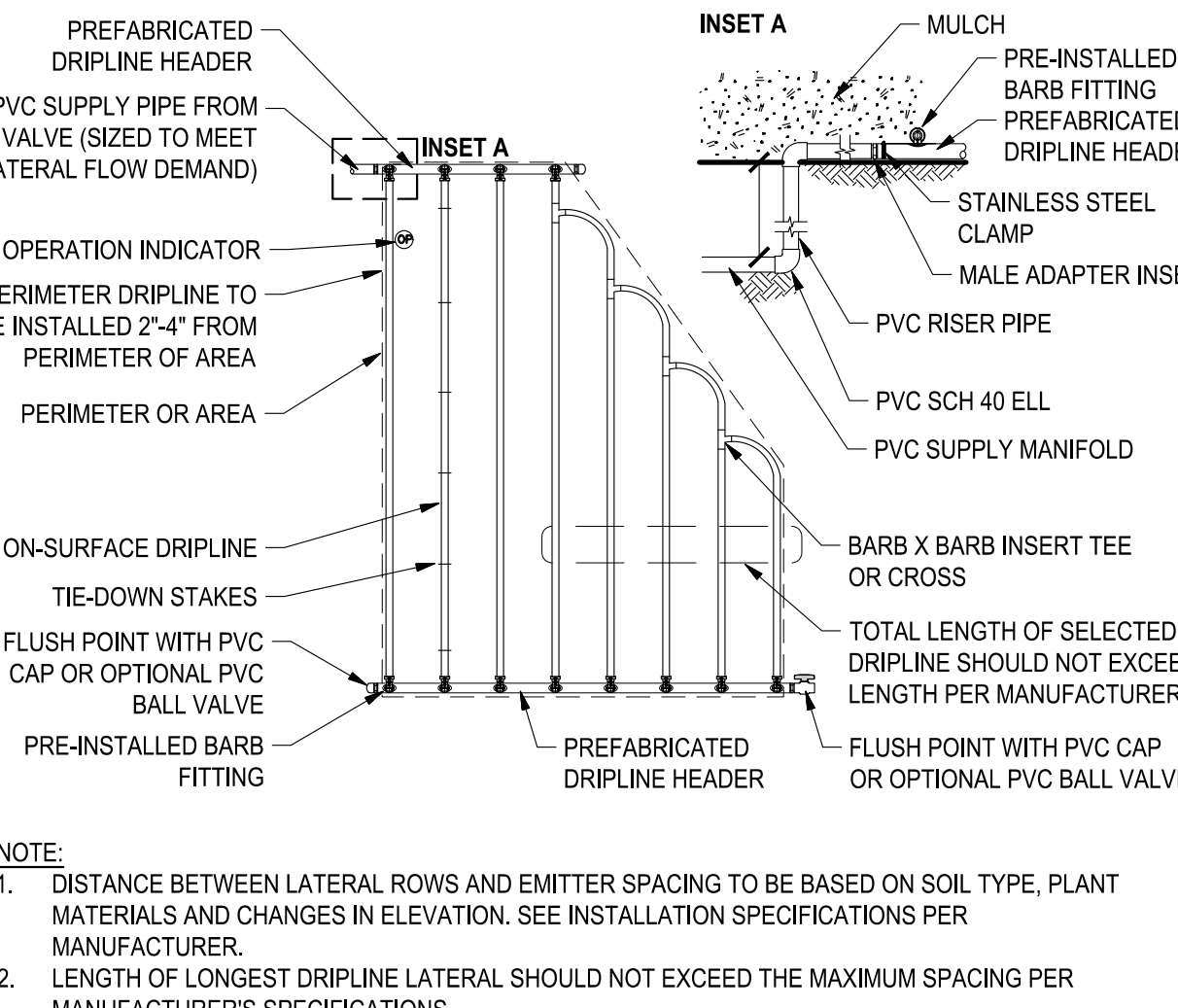
12 ON-SURFACE DRIPLINE STAKING
NO SCALE



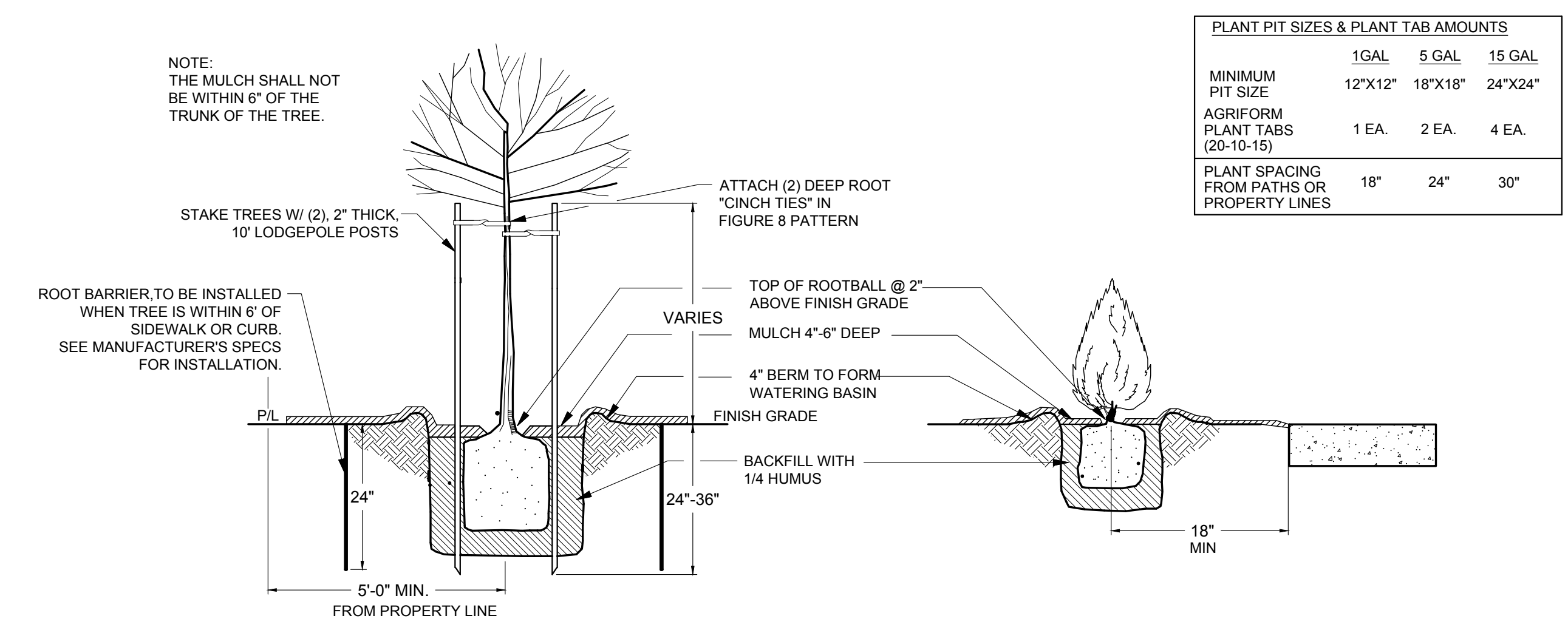
13 ON-SURFACE DRIPLINE - DRIPLINE RISER ASSEMBLY
NO SCALE



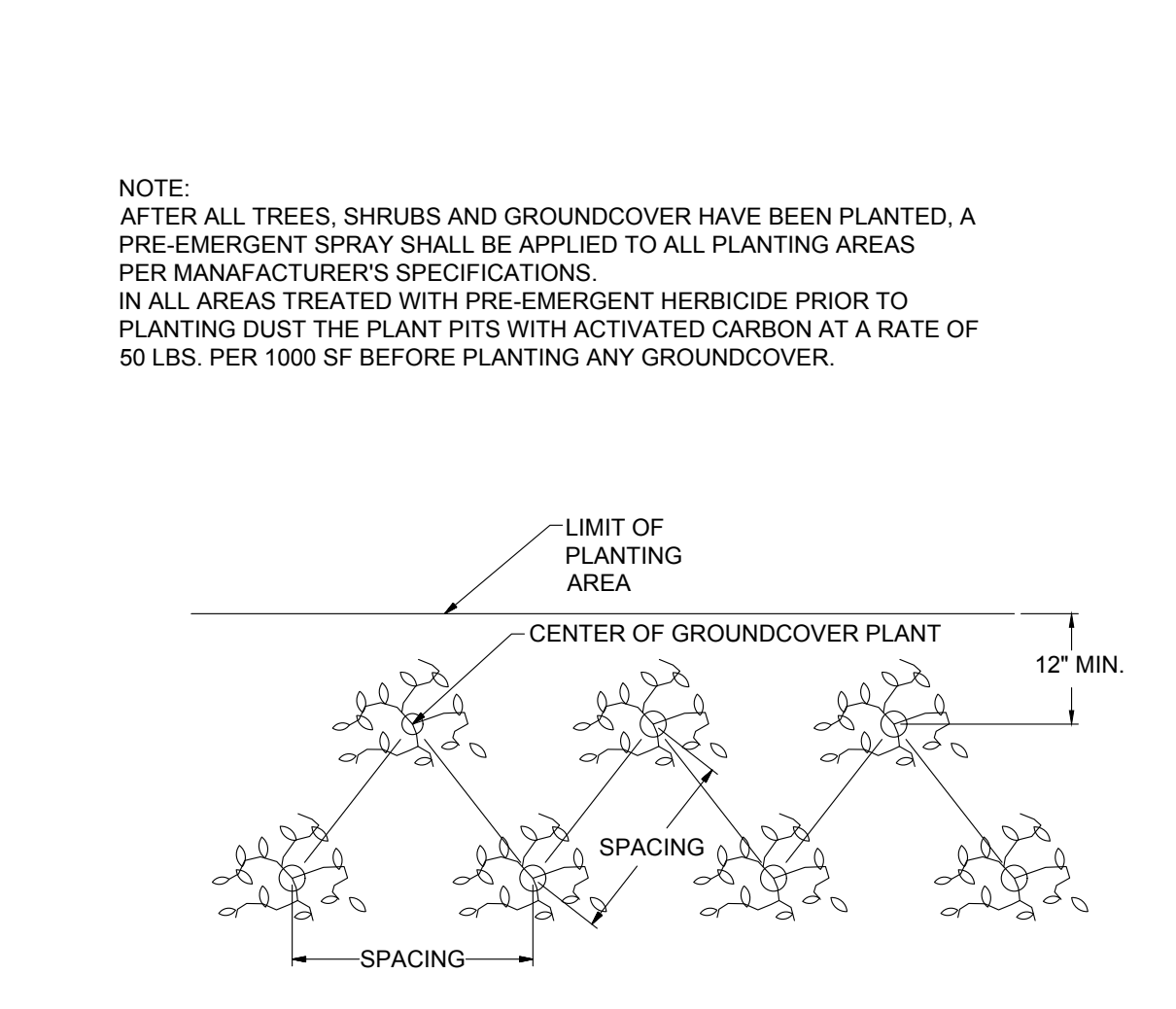
14 ON-SURFACE DRIPLINE - END FEED LAYOUT
NO SCALE



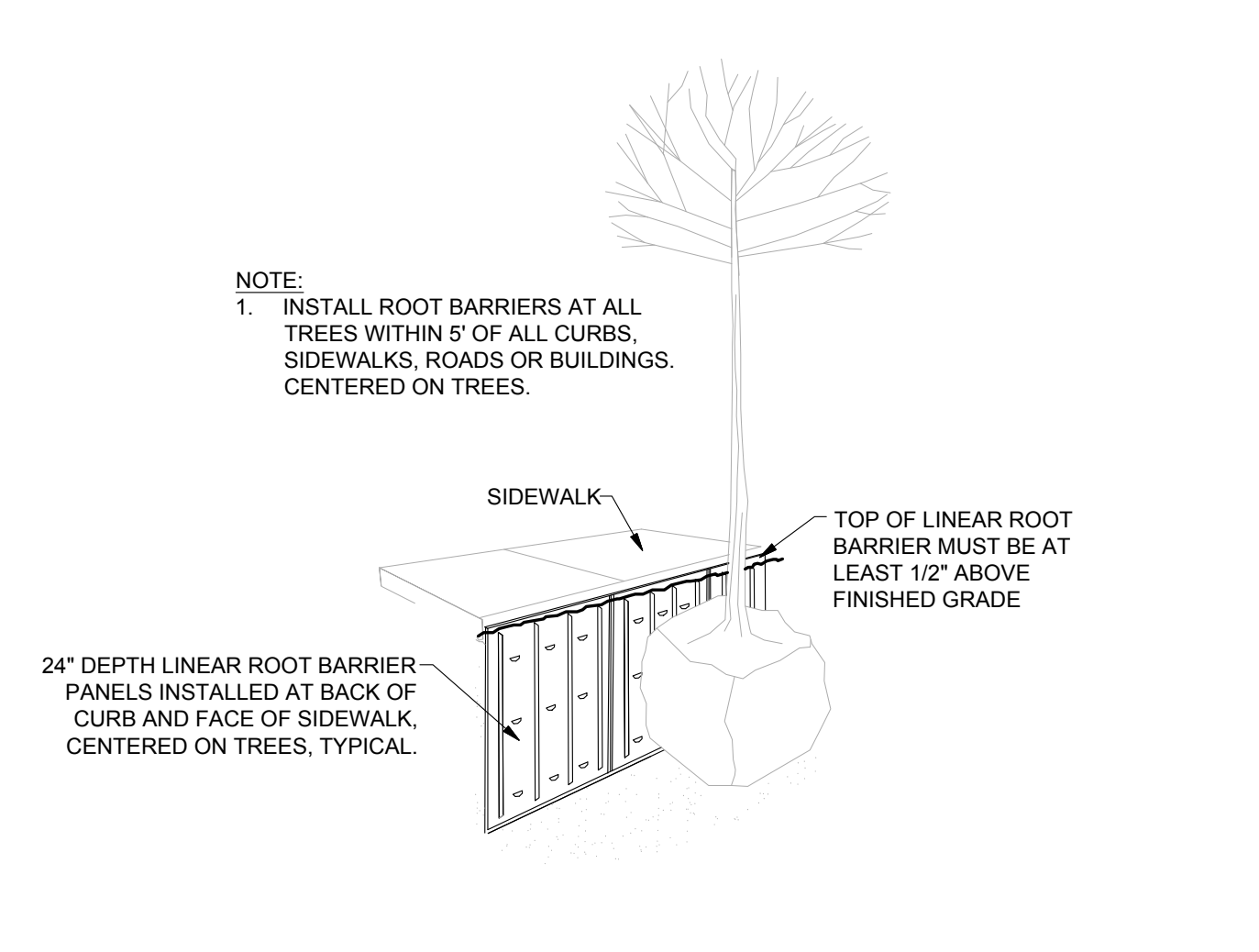
15 ON-SURFACE DRIPLINE - IRREGULAR SHAPED LAYOUT
NO SCALE



16 TREE/SHRUB PLANTING & STAKING
NO SCALE

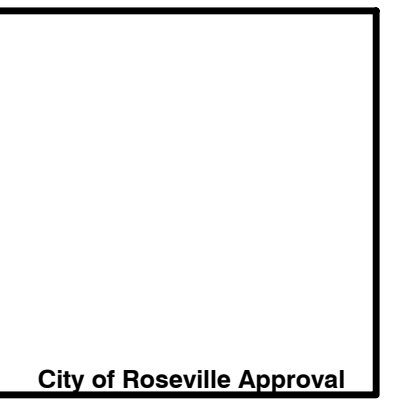


17 GROUNDCOVER SPACING
NO SCALE



18 LINEAR ROOT BARRIER
NO SCALE

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REVISION BY DATE

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

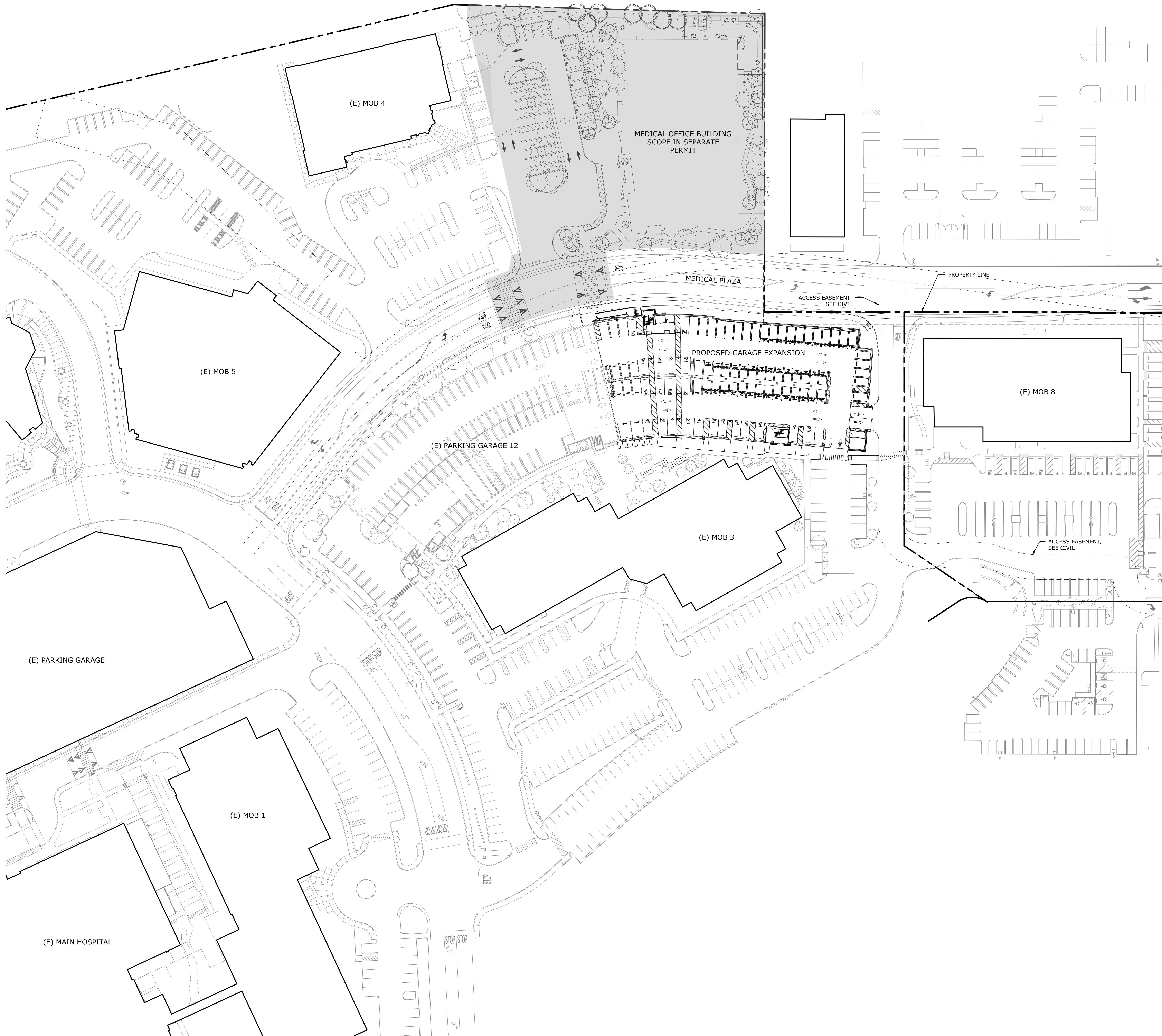
12 MEDICAL PLAZA
ROSEVILLE, CA 95661

LANDSCAPE DETAILS

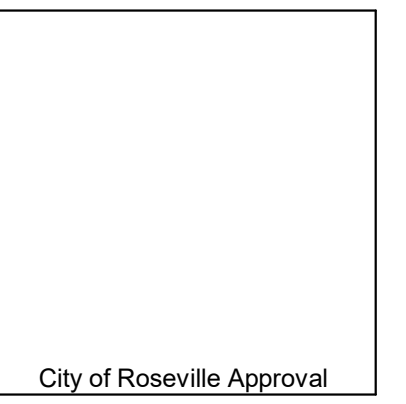
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GENERAL NOTES

1. THE ACCESSIBLE ROUTE OF TRAVEL (OR PATH OF TRAVEL) IS A CONTINUOUS UNOBSTRUCTED WALKWAY (OR PATH) CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES AS INDICATED ON THIS SHEET. THE CONTRACTOR SHALL VERIFY THAT A PERSON CAN NEGOTIATE THE ACCESSIBLE ROUTE WITH A DISABILITY USING A WHEELCHAIR AND THAT THE ROUTE IS ALSO SAFE AND USABLE BY PERSONS WITH OTHER DISABILITIES.
2. ALL WALKS, SIDEWALKS AND LANDINGS THAT ARE PART OF THE ACCESSIBLE ROUTE OF TRAVEL SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL HAVE A MINIMUM WIDTH OF 48 INCHES, UNLESS NOTED OTHERWISE. THE SLOPE IN THE DIRECTION OF TRAVEL SHALL BE LESS THAN 1:20 (5%) WITH A MAXIMUM CROSS SLOPE OF 1/4 INCH PER FOOT (2%), UNLESS OTHERWISE NOTED.
3. ALL DESIGNATED ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) IN THE DIRECTION OF TRAVEL WITH A MAXIMUM CROSS SLOPE OF 1/4 INCH PER FOOT (2%), UNLESS OTHERWISE NOTED.
4. SEE CIVIL DRAWINGS FOR FULL EXTENT OF SITE WORK IN THIS CONTRACT.



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REVISION BY DATE

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

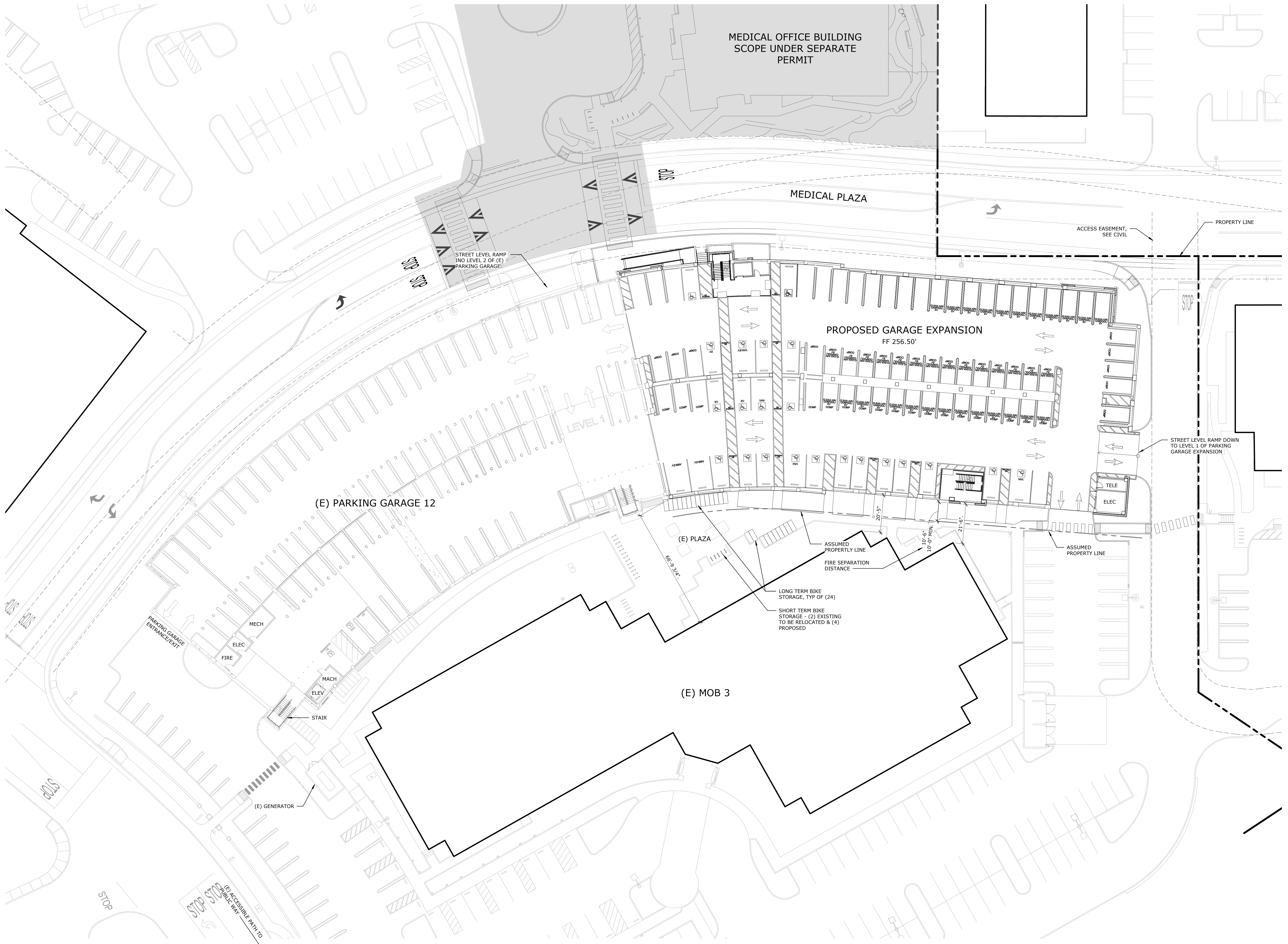
12 MEDICAL PLAZA
ROSEVILLE, CA 95661

OVERALL SITE PLAN



C1009.00
AS SHOWN
03/28/2022

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REVISION BY DATE

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

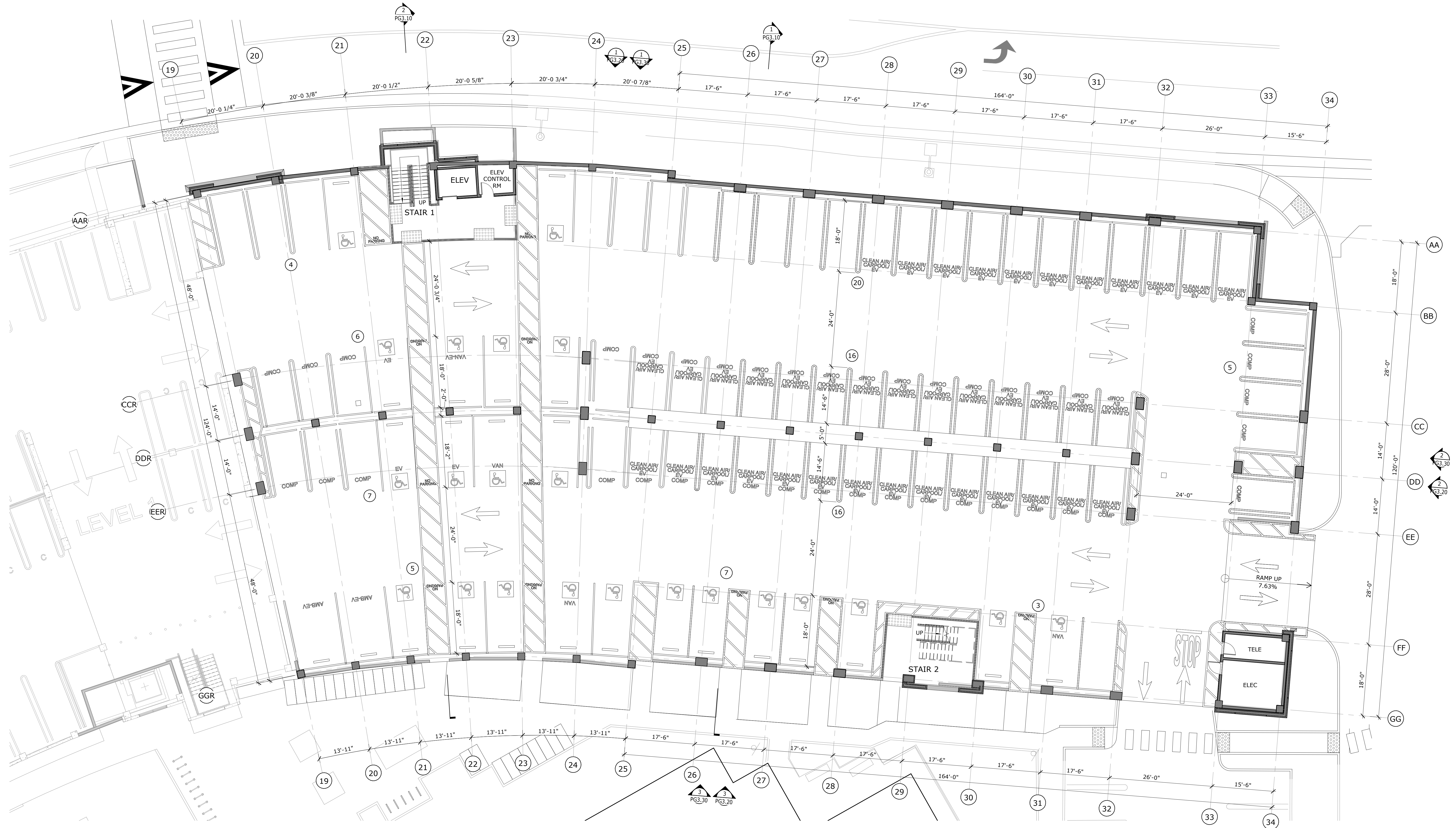
ENLARGED SITE PLAN



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AS SHOWN
03/28/2022

PG1.20

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REVISION BY DATE

1 LEVEL 01-FLOOR PLAN
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

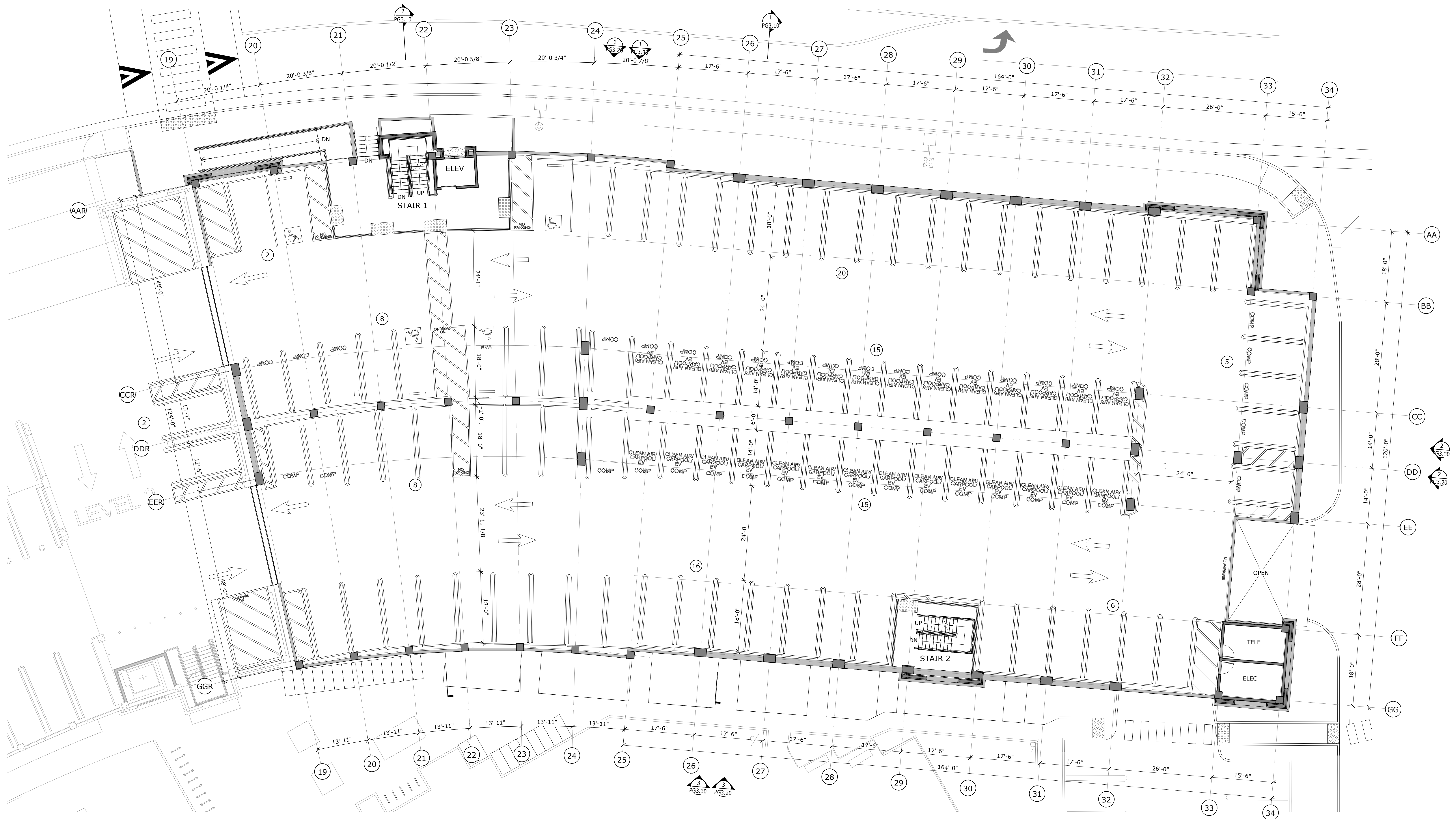
LEVEL 01 FLOOR PLAN



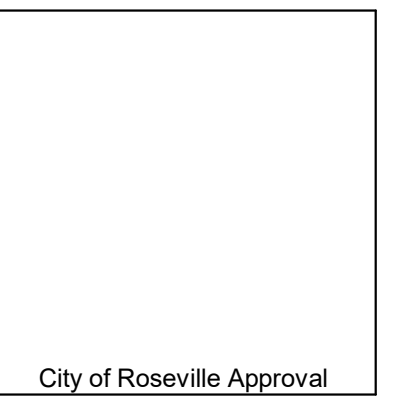
NORTH

C1009.00
AS SHOWN
03/28/2022

PG2.11



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1 LEVEL 02-FLOOR PLAN
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

LEVEL 02 FLOOR PLAN

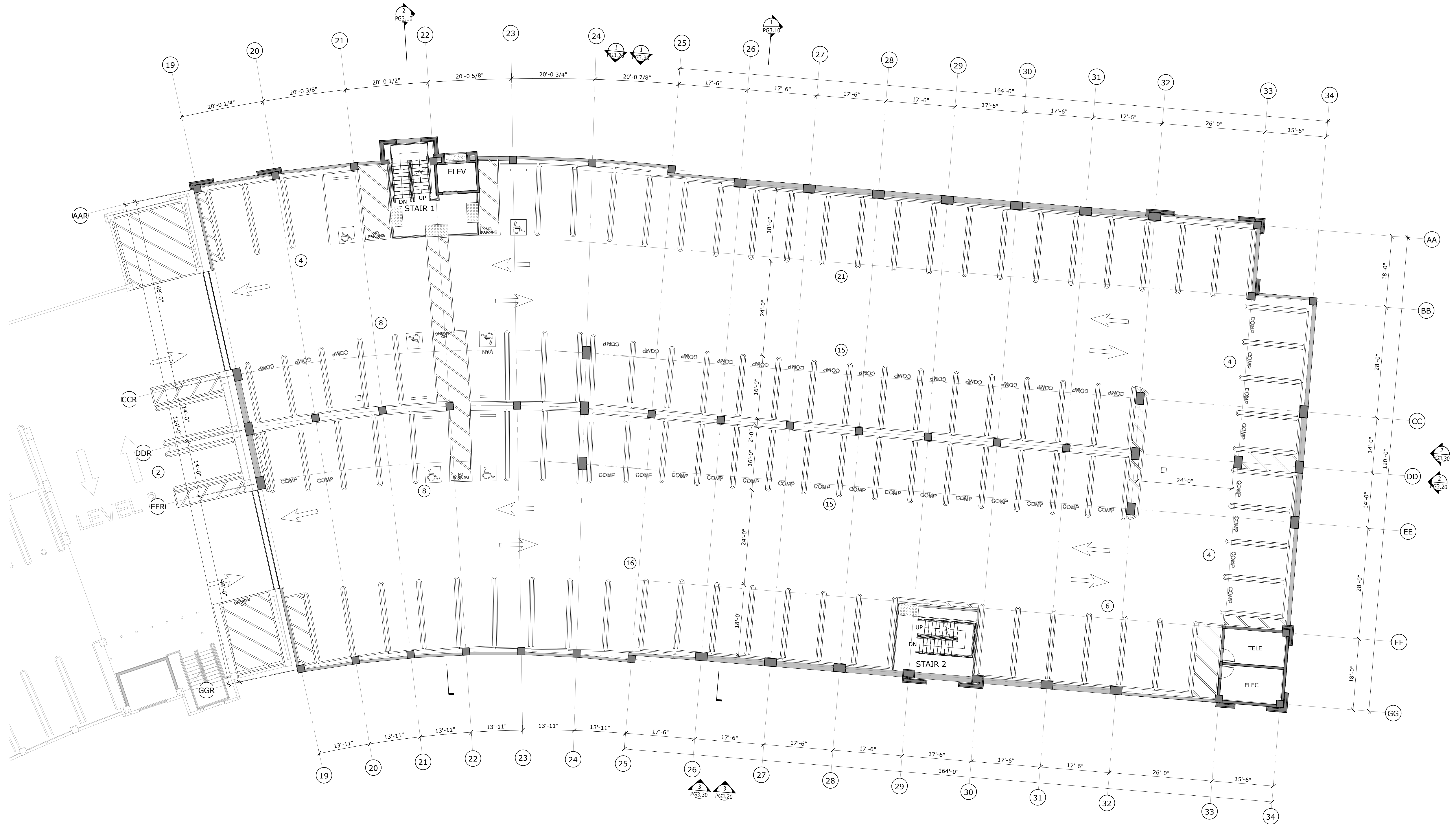


NORTH

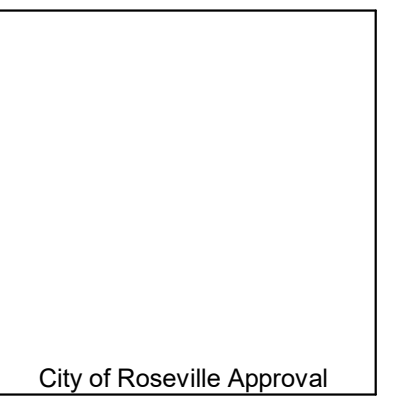
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AS SHOWN
03/28/2022

PG2.21

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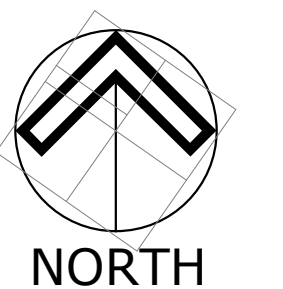
REVISION BY DATE

1 LEVEL 03-FLOOR PLAN
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

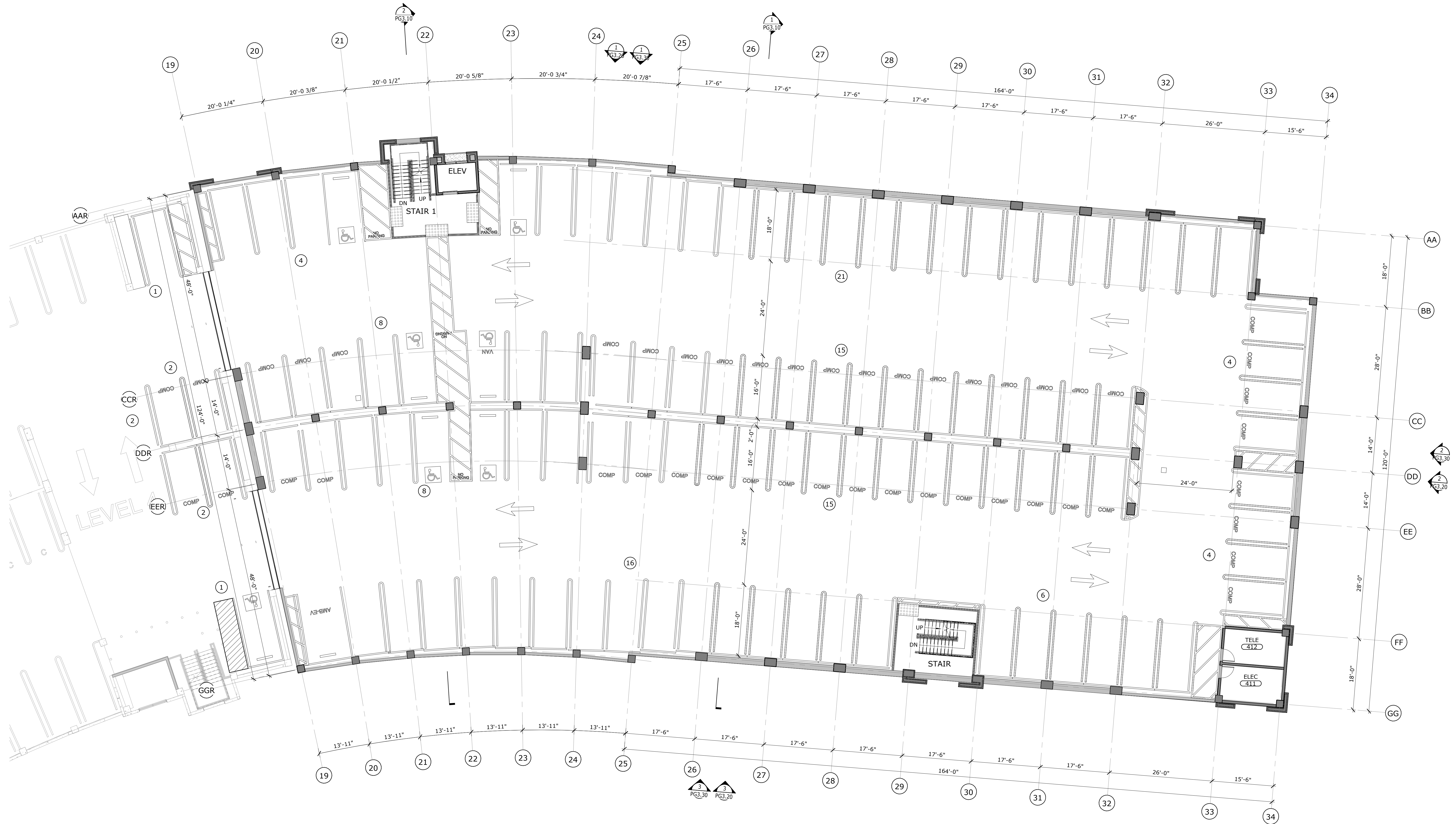
LEVEL 03 FLOOR PLAN



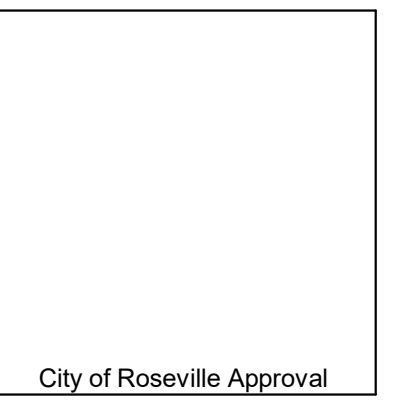
NORTH

C1009.00
AS SHOWN
03/28/2022

PG2.31



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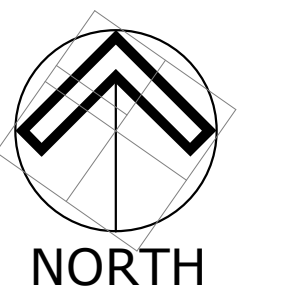
REVISION BY DATE

1 LEVEL 04-FLOOR PLAN
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

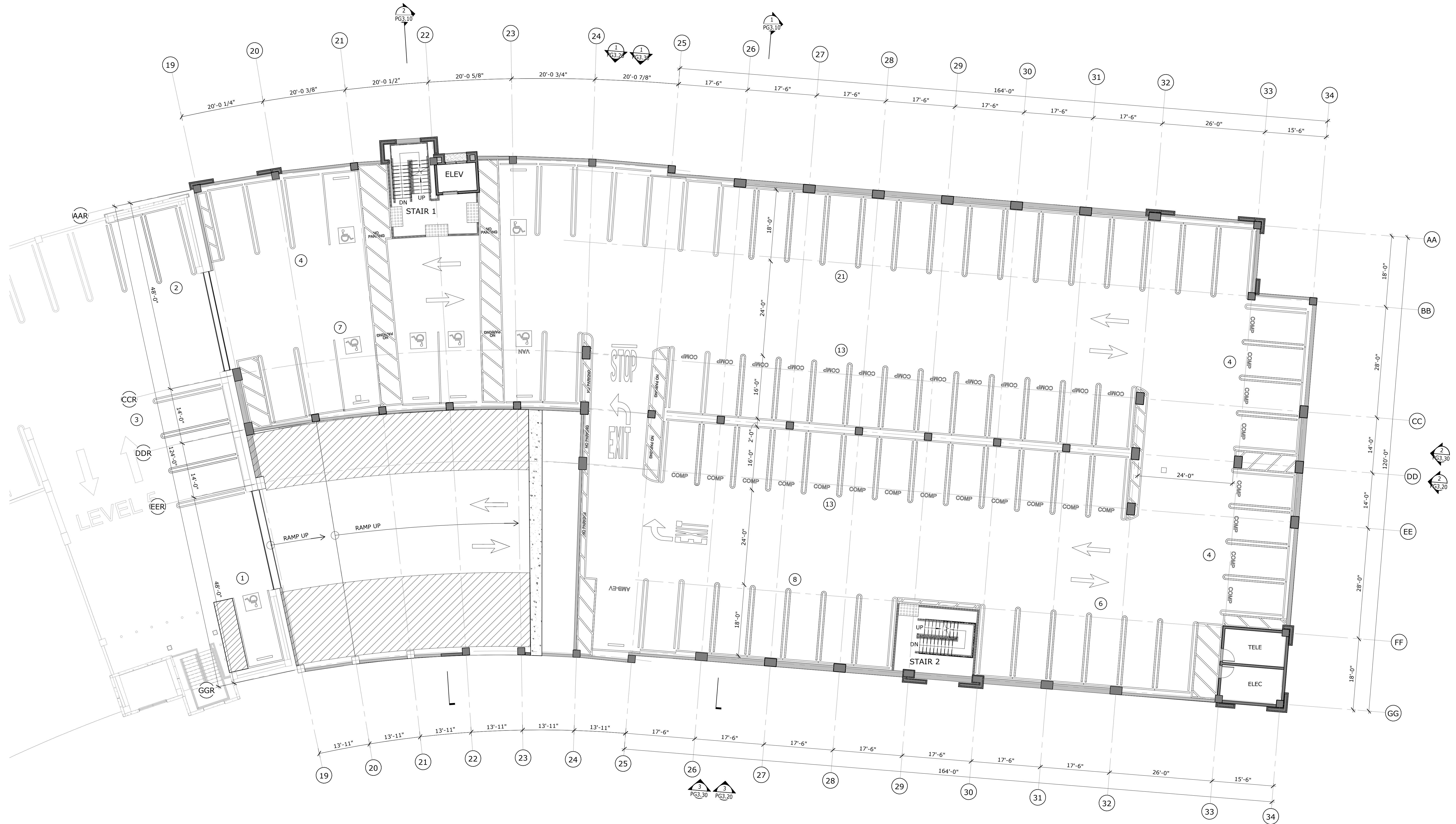
LEVEL 04 FLOOR PLAN



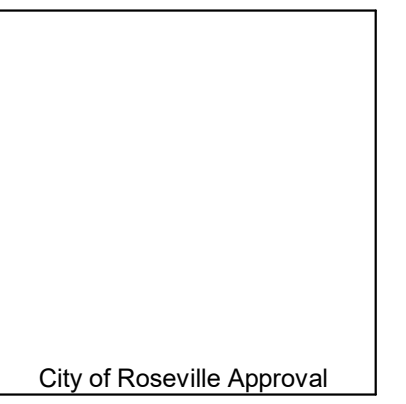
NORTH

C1009.00
AS SHOWN
03/28/2022

PG2.41



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1 LEVEL 05-FLOOR PLAN
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

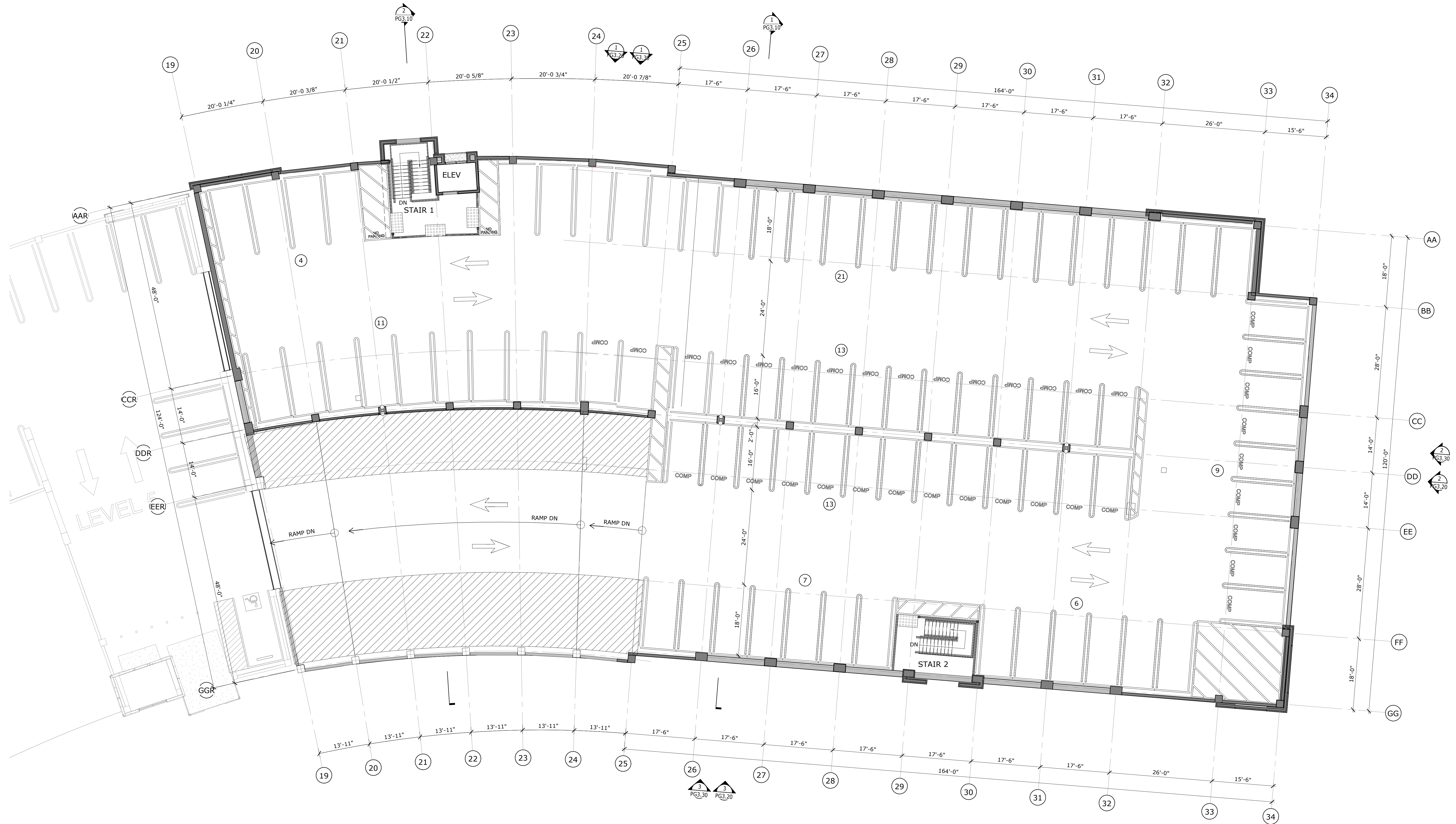
LEVEL 05 FLOOR PLAN



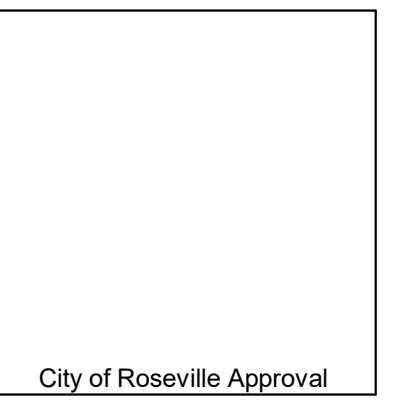
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SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

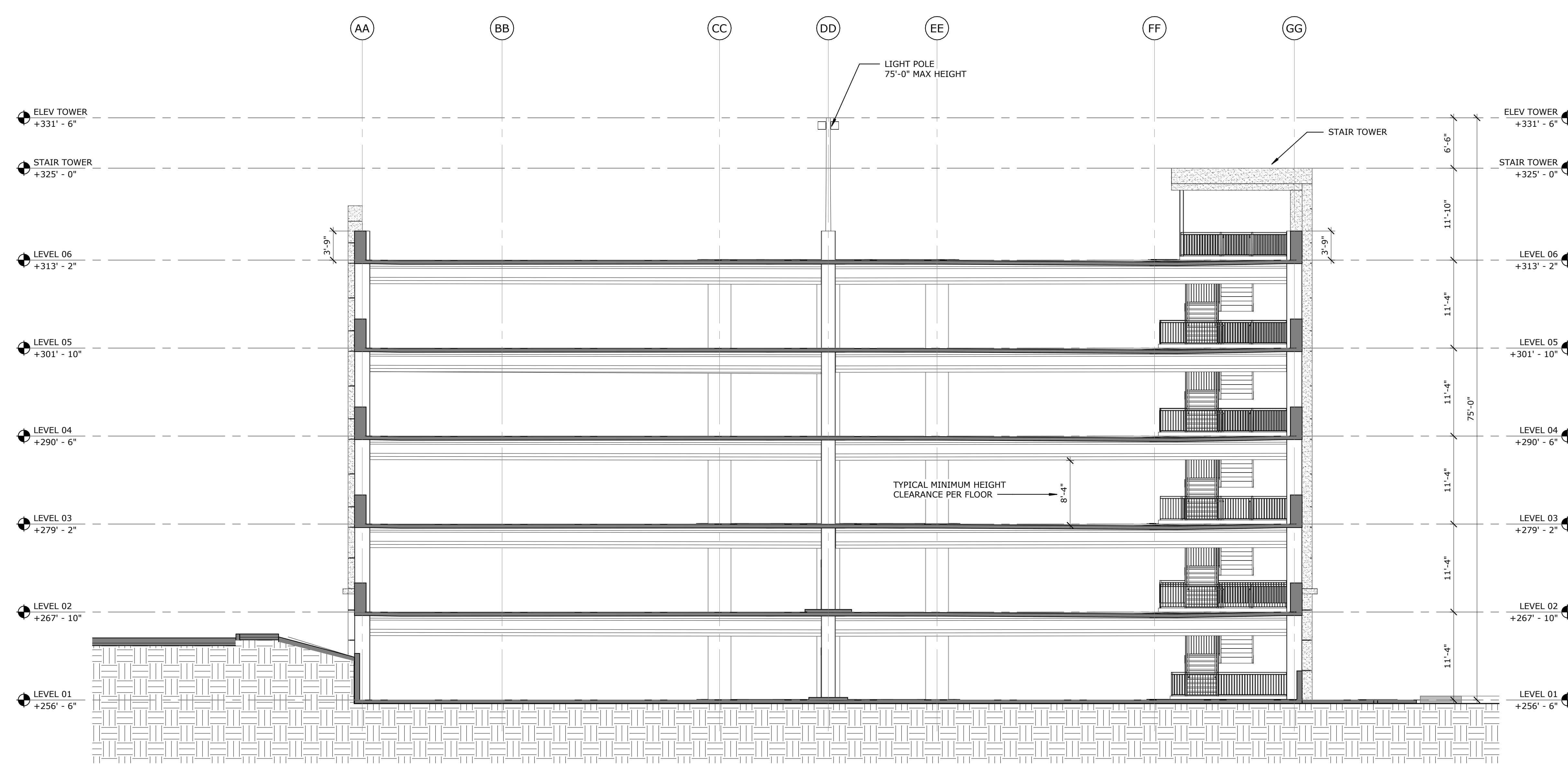
LEVEL 06 FLOOR PLAN



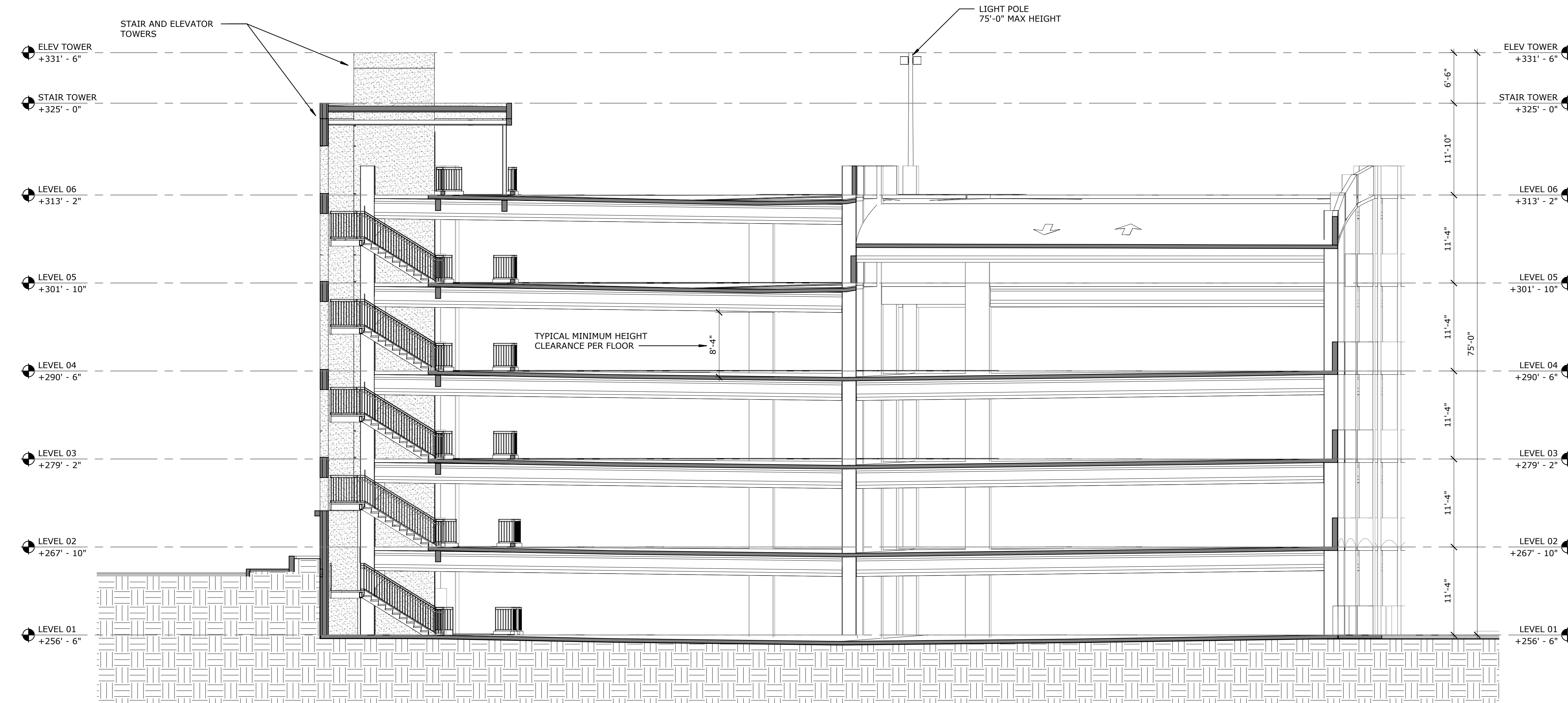
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PG2.61

1 LEVEL 06-FLOOR PLAN
3/32" = 1'-0"

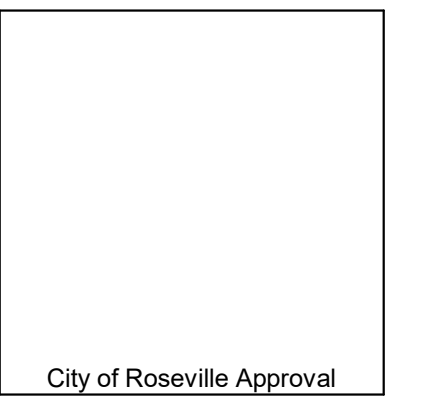


1 BUILDING SECTION 1
1/8" = 1'-0"



2 BUILDING SECTION 2
1/8" = 1'-0"

CITY APPROVAL STAMP



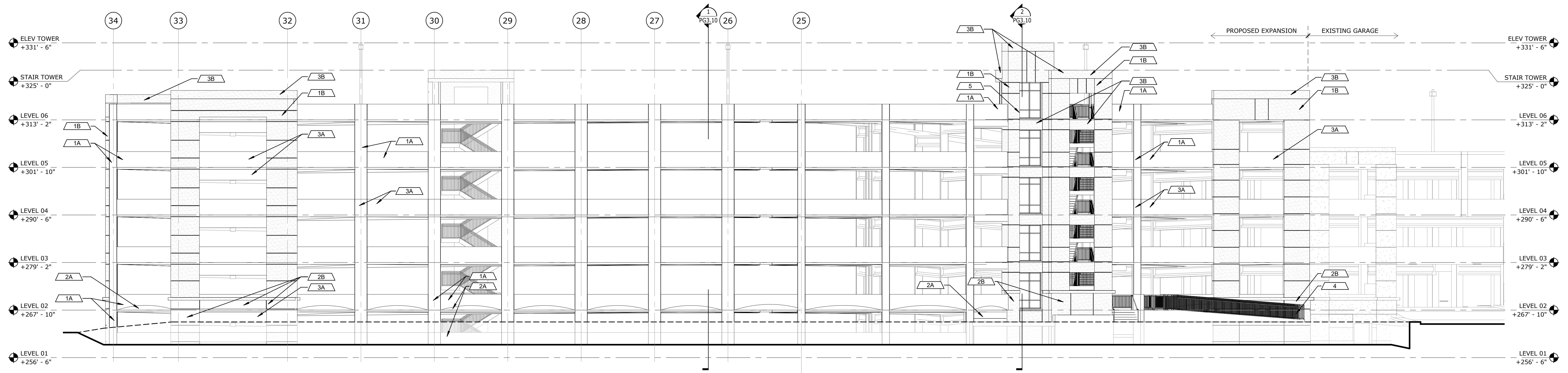
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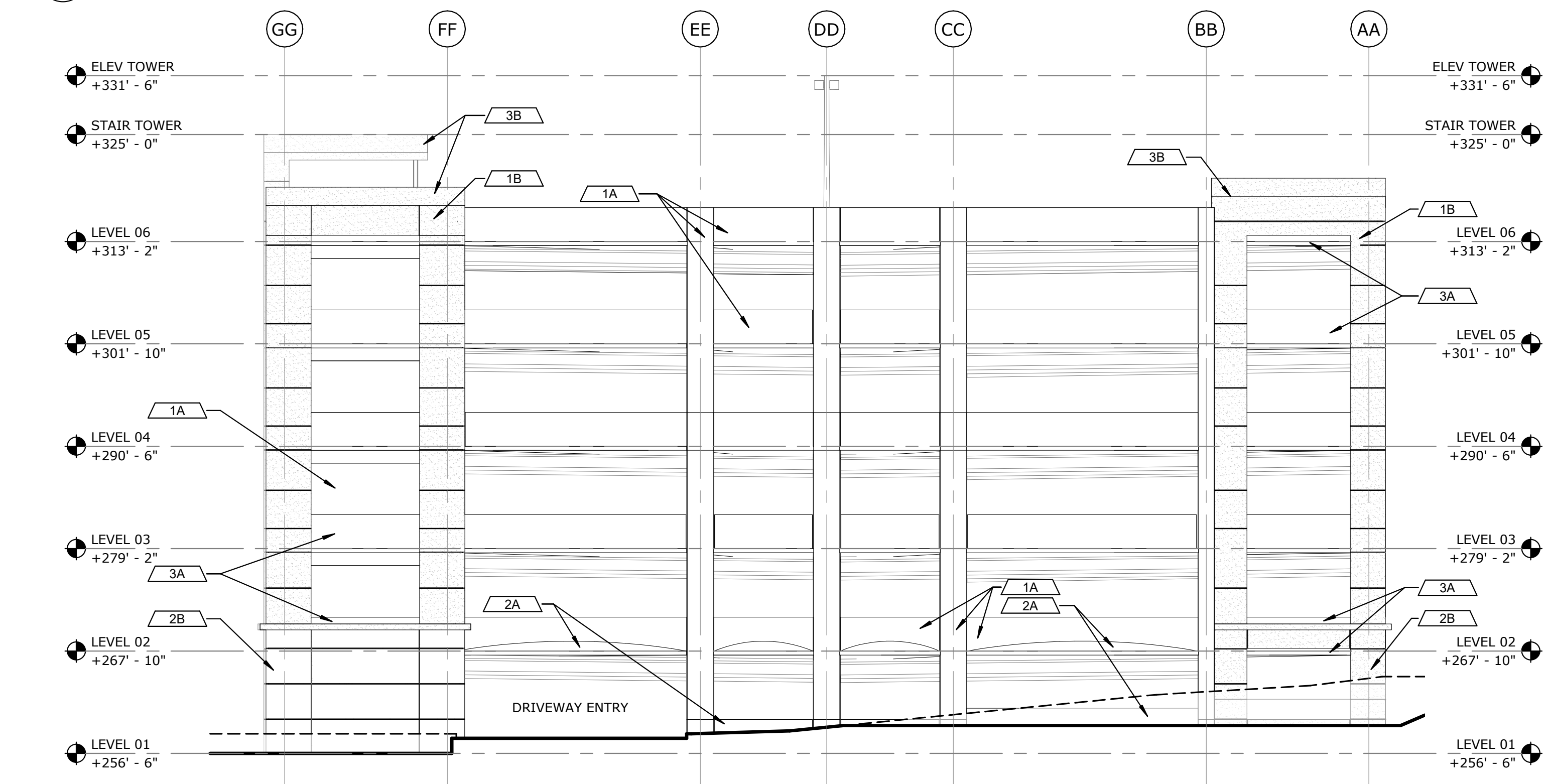
SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

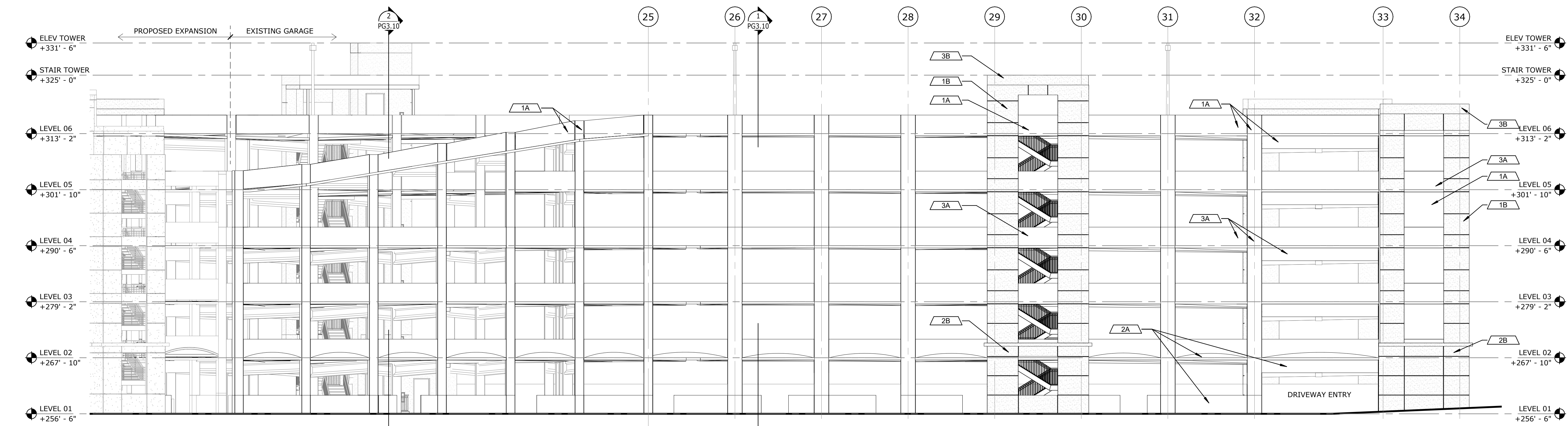
BUILDING SECTIONS



1 BUILDING ELEVATION - NORTH
3/32" = 1'-0"

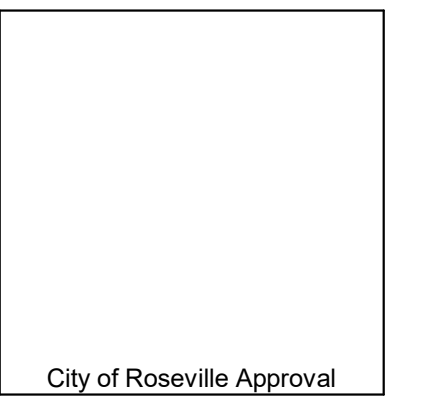


2 BUILDING ELEVATION - EAST
3/32" = 1'-0"



3 BUILDING ELEVATION - SOUTH
3/32" = 1'-0"

CITY APPROVAL STAMP



EXTERIOR FINISH LEGEND

- 1A PAINTED CONCRETE PANEL - BEIGE
- 1B PAINTED EIFS FINISH - BEIGE
- 2A PAINTED CONCRETE PANEL - BROWN
- 2B PAINTED EIFS FINISH - BROWN
- 3A PAINTED CONCRETE PANEL - GREEN
- 3B PAINTED EIFS FINISH - GREEN
- 4 PAINTED METAL FINISH - CHARCOAL GRAY
- 5 CLEAR ANODIZED ALUMINUM STOREFRONT

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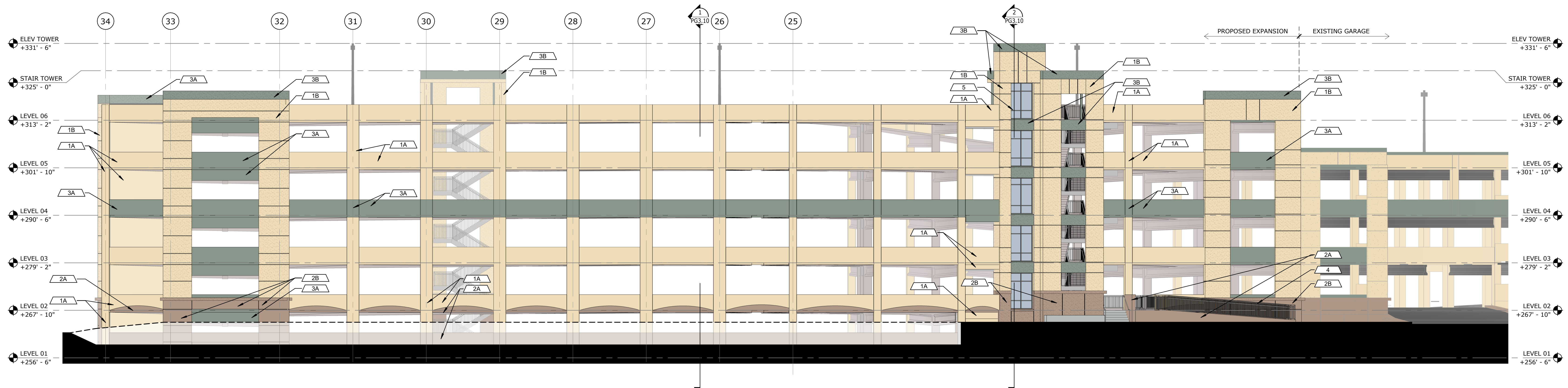
SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

BUILDING EXPANSION
ELEVATIONS

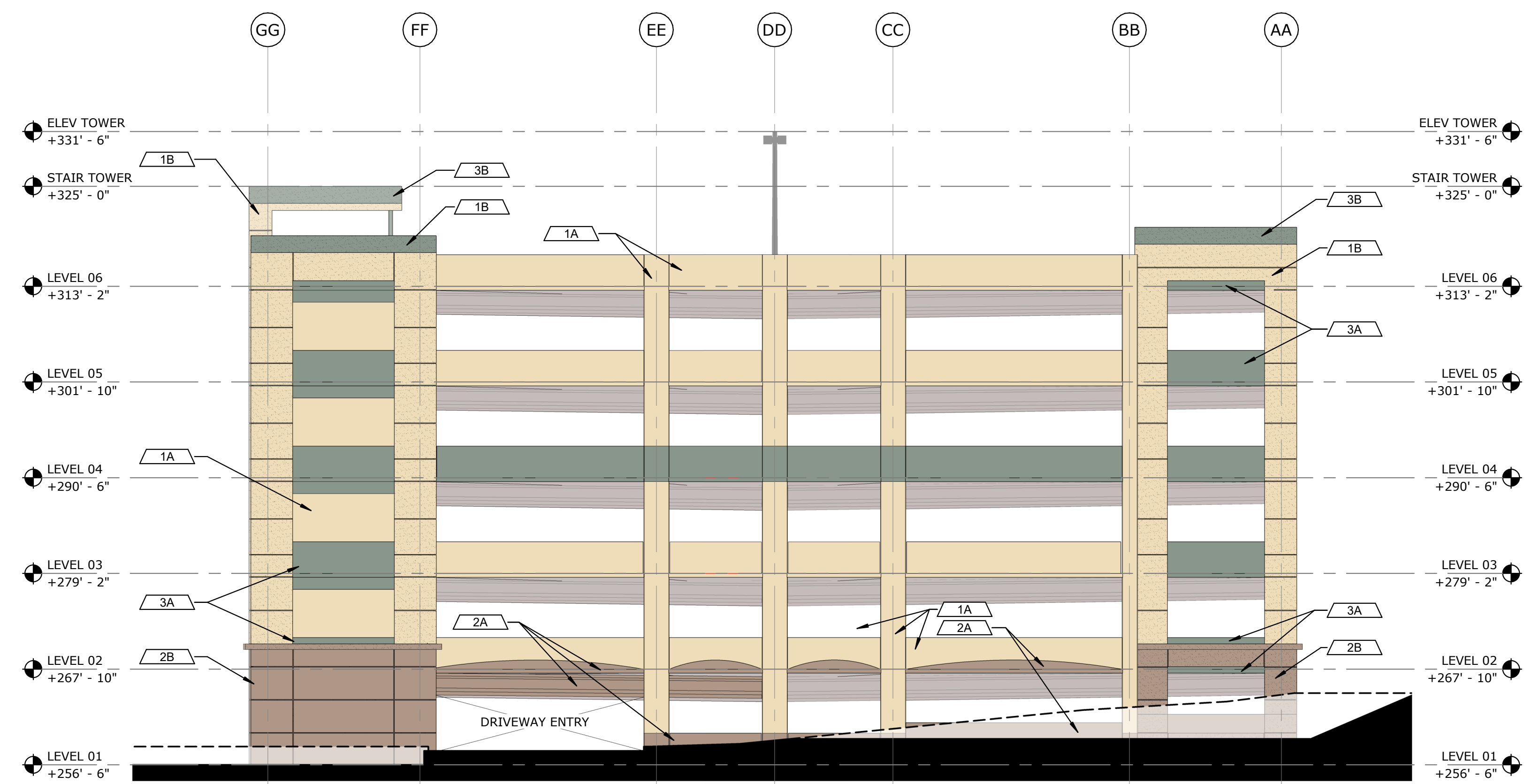
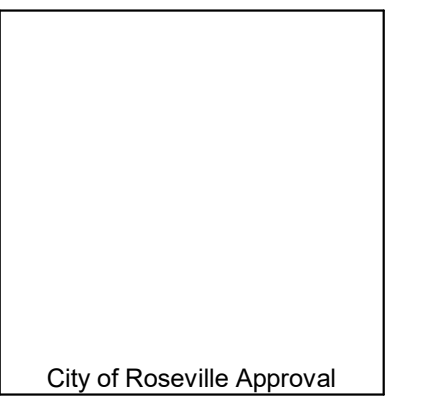
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AS SHOWN
03/11/2022

PG3.20



1 BUILDING ELEVATION - NORTH COLOR - ENTITLEMENTS
3/32" = 1'-0"

CITY APPROVAL STAMP



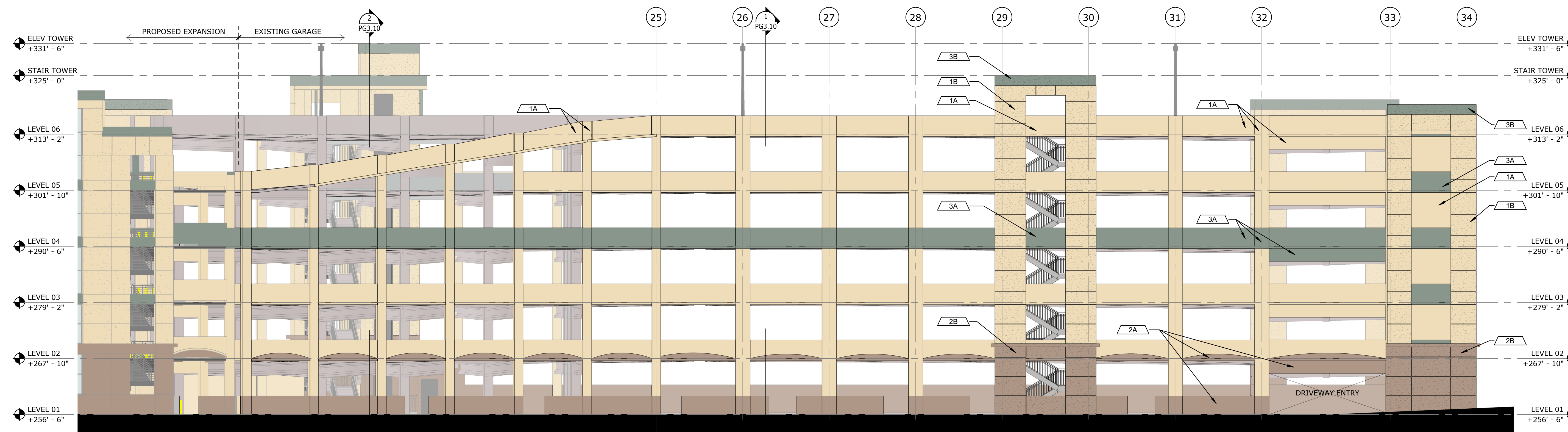
2 BUILDING ELEVATION - EAST COLOR - ENTITLEMENTS
3/32" = 1'-0"

EXTERIOR FINISH LEGEND

1A	[Beige Painted Concrete Panel]	PAINTED CONCRETE PANEL - BEIGE
1B	[Beige Painted EIFS Finish]	PAINTED EIFS FINISH - BEIGE
2A	[Brown Painted Concrete Panel]	PAINTED CONCRETE PANEL - BROWN
2B	[Brown Painted EIFS Finish]	PAINTED EIFS FINISH - BROWN
3A	[Green Painted Concrete Panel]	PAINTED CONCRETE PANEL - GREEN
3B	[Green Painted EIFS Finish]	PAINTED EIFS FINISH - GREEN
4	[Charcoal Gray Painted Metal Finish]	PAINTED METAL FINISH - CHARCOAL GRAY
5	[Clear Anodized Aluminum Storefront]	CLEAR ANODIZED ALUMINUM STOREFRONT

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3 BUILDING ELEVATION - SOUTH COLOR - ENTITLEMENTS
3/32" = 1'-0"

SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

BUILDING EXPANSION COLOR
ELEVATIONS

C1009.00
AS SHOWN
03/28/2022

SHEET NOTES

- 1 VERIFY EXACT LOCATION OF ALL ROOFTOP FLIGHT LIGHTS PRIOR TO ROUGH-IN.
- 2 STAIRWAY LIGHTING CIRCUIT TO CONTINUE DOWNSTAIRS.

OSQ Series
OSQ™ LED Area Flood Luminaire featuring Cree TrueWhite™ Technology - Medium & Large

Type C
OSQ-1-9-30L-40K7-5M-UL-NM

OSQ-ML-S-DA Mount

Product Description
The OSQ™ Area Flood Luminaire features advanced optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged and designed with an integral, weatherproof LED driver component. Versatile mounting configurations allow for easy installation in any location. The OSQ luminaire is available in a variety of sizes and configurations to meet your needs. The OSQ luminaire is available in a variety of sizes and configurations to meet your needs. The OSQ luminaire is available in a variety of sizes and configurations to meet your needs.

Performance Summary
Optical Class: TrueWhite™ Technology on OSQ™ Luminaires
Standard: Precision Delivery (SDP) optic
Assembled in the U.S.A. of U.S. and imported parts
Total Rated Lumens: 100,000
Efficiency: up to 171 LPW
CRI: Minimum 90 CRI (3000K, 4000K & 5000K); 95 CRI (5000K)

LED: white, clear, amber, cyan

Limited Warranty: 10 years on Luminaires, 5 years on Colored Delux™ finish, up to 5 years for Colored Delux™ finish, up to 5 years for Colored Delux™ finish.

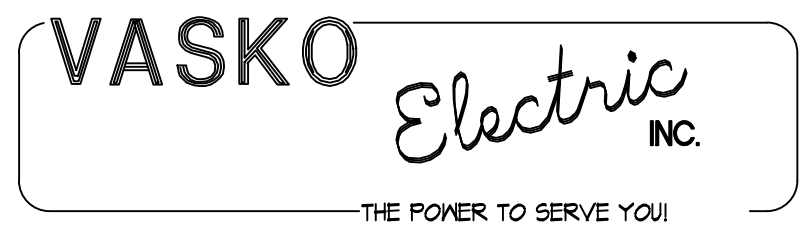
Ordering Information
Fully assembled luminaire is shipped in a standard 48" x 48" x 12" box. Luminaire is shipped in a standard 48" x 48" x 12" box. Luminaire is shipped in a standard 48" x 48" x 12" box.

Mount: ML-S-DA

Luminaire Mount must be ordered separately!

Part No.	Part Description	Part No.	Part Description
OSQ-1-9-30L-40K7-5M-UL-NM	OSQ™ LED Area Flood Luminaire	OSQ-ML-S-DA	OSQ™ Luminaire Mount
OSQ-1-9-30L-40K7-5M-UL-NM	OSQ™ LED Area Flood Luminaire	OSQ-ML-S-DA	OSQ™ Luminaire Mount

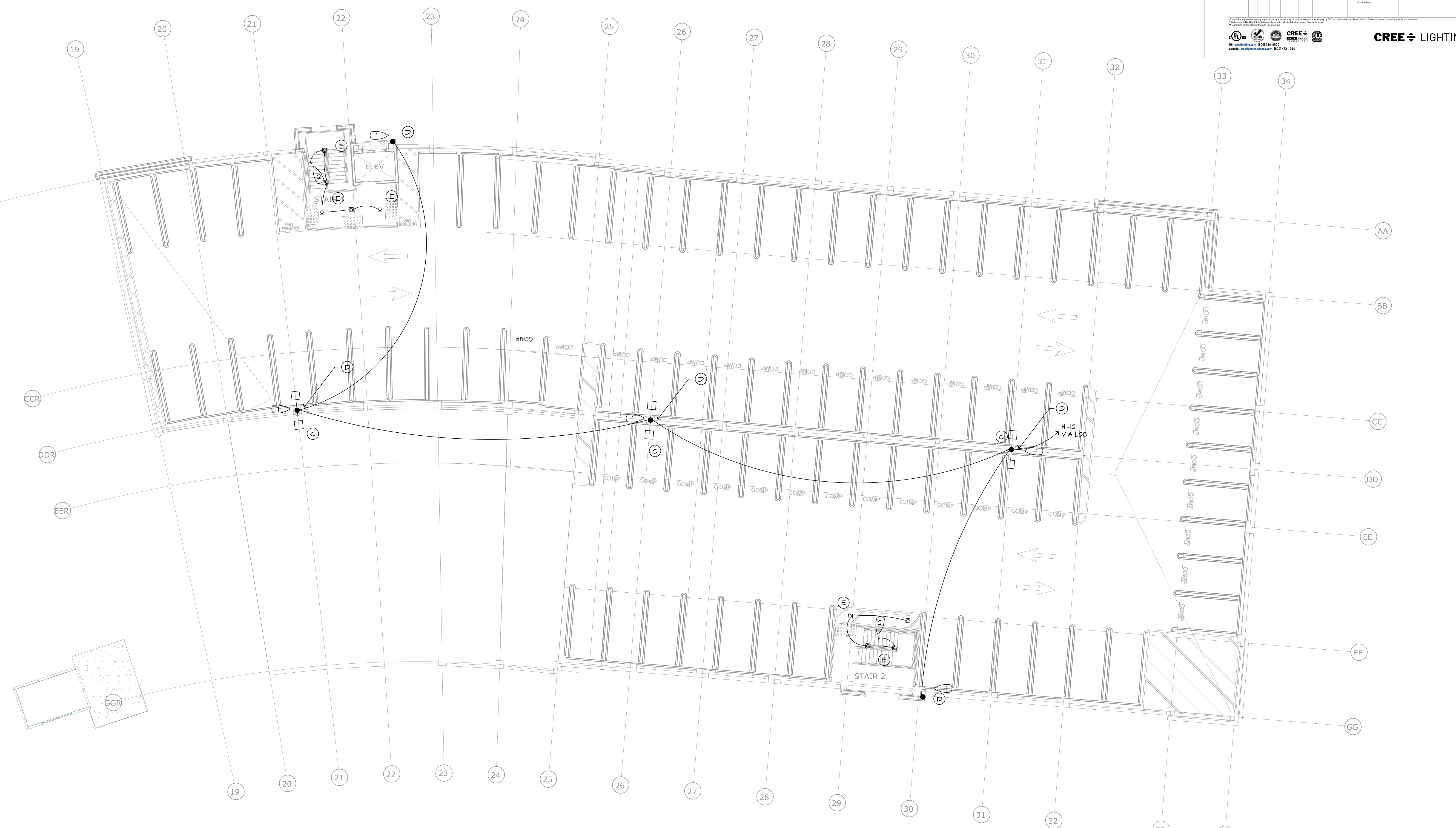
CREE LIGHTING



4300 ASTORIA ST SACRAMENTO CA 95833
(916) 568-7700
LICENSE #471434
These drawings and specifications are working drawings for Vasko Electric, Inc., and are the property of Vasko Electric, Inc., and are not to be used for the purpose of bidding or installation by any other electrical contractor.

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City of Roseville Approval



LEVEL 06 ELECTRICAL PLAN
SCALE: 3/8"=1'-0"

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REVISION BY DATE

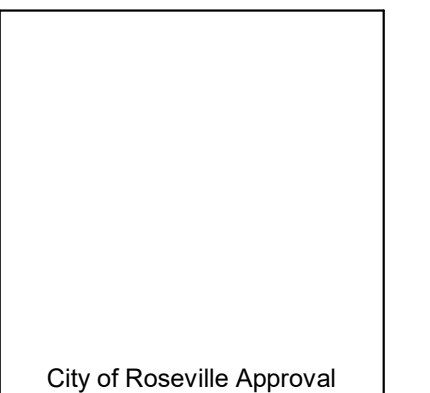
SUTTER HEALTH
PARKING GARAGE 12
EXPANSION

12 MEDICAL PLAZA
ROSEVILLE, CA 95661

LEVEL 06 ELECTRICAL PLAN

Signature

CITY APPROVAL STAMP



City of Roseville Approval

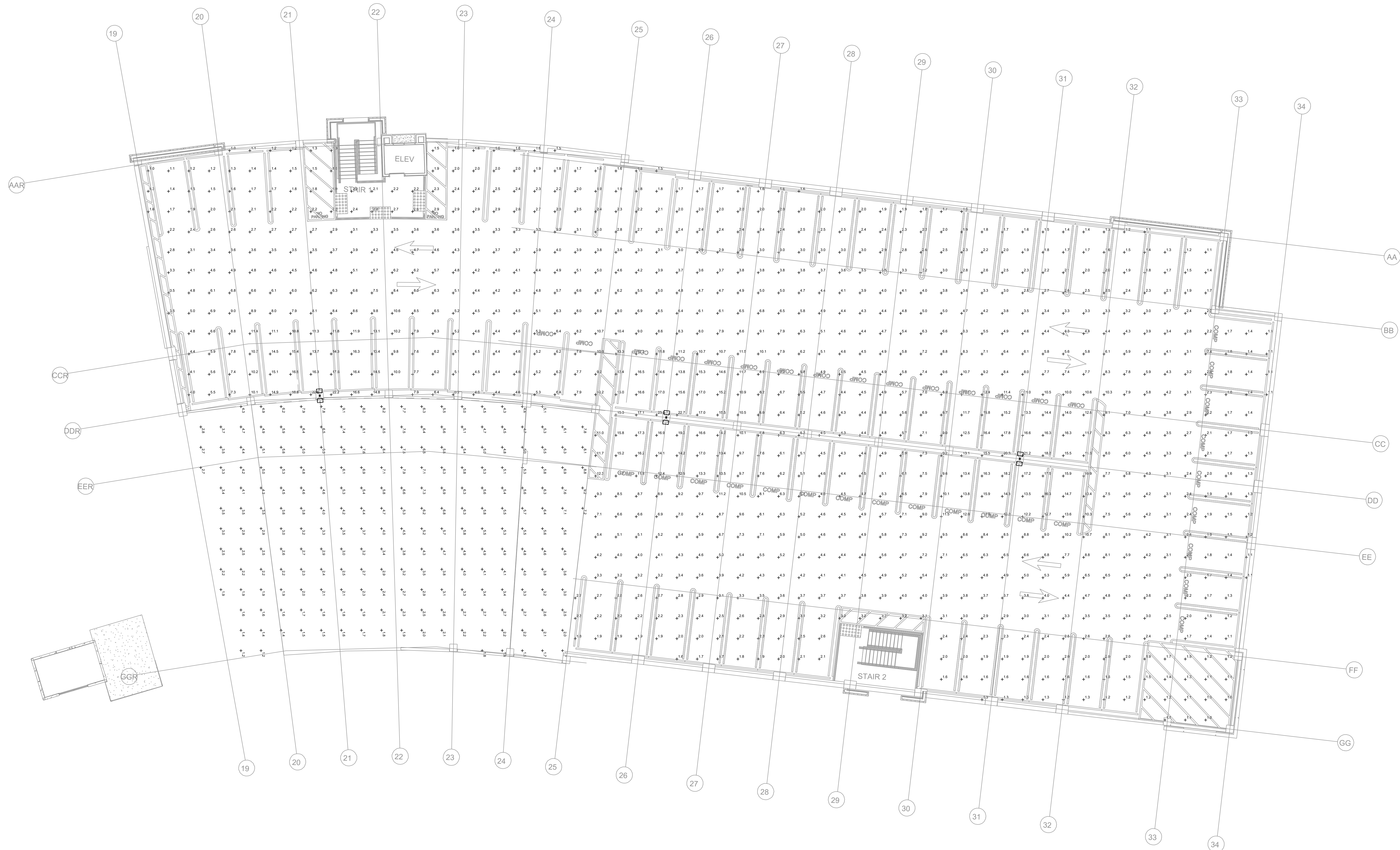
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LEVEL 06 PHOTOMETRICS



LEVEL 06 PHOTOMETRIC PLAN
SCALE: 3/32"=1'-0"